



VIRTUAL Central & South Planning Committee

Date: THURSDAY, 4 FEBRUARY 2021

Time: 7.00 PM

Location: VIRTUAL MEETING

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Important Meeting Advice: Following UK Government advice to avoid all but essential travel and to practice social distancing, the usual physical public speaking rights at Planning Committee will be suspended temporarily during the coronavirus pandemic. Instead, written representations will be considered as part of Hillingdon's established Petitions Scheme.

To Councillors on the Committee

Councillor Steve Tuckwell (Chairman)

Councillor Alan Chapman (Vice-Chairman)

Councillor Shehryar Ahmad-Wallana

Councillor Mohinder Birah

Councillor Nicola Brightman

Councillor Roy Chamdal

Councillor Farhad Choubedar

Councillor Jazz Dhillon

Councillor Janet Duncan (Opposition Lead)

Published: Wednesday, 27 January 2021

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Agenda

Chairman's Announcements

- 1 Apologies for Absence
- 2 Declarations of Interest in matters coming before this meeting
- 3 To sign and receive the minutes of the previous meeting 1 - 8
- 4 Matters that have been notified in advance or urgent
- 5 To confirm that the items of business marked Part I will be considered in Public and that the items marked Part 2 will be considered in private

PART I - Members, Public and the Press

Items are normally marked in the order that they will be considered, though the Chairman may vary this. The name of the local ward area is also given in addition to the address of the premises or land concerned.

Applications with a Petition

	Address	Ward	Description & Recommendation	Page
6	1 Raynton Close, Hayes - 8096/APP/2020/3154	Charville	Two storey side extension and single storey side/rear extension Recommendations: Approval	9 - 18
7	Spitfire House, Churchill Road - 585/APP/2020/3892	Uxbridge North	Installation of a rooftop base station to accommodate 6 antenna apertures, 4 600mm dishes, 9 cabinets and associated ancillary development thereto Recommendations: Refusal	19 - 36

Applications without a Petition

	Address	Ward	Description & Recommendation	Page
8	56B Wood End, Green Road, Hayes - 54624/APP/2020/4303	Botwell	Erection of two rear dormer window and 3 front rooflights following full removal of the existing unlawful dormer window Recommendation: Refusal	37 - 46
9	Hayes Park, Hayes - 12853/APP/2020/2980	Charville	Internal office refurbishment of Hayes Park Central and South including removal of the non-original partitions, re-instatement of the South Building's reflecting pool and refurbished entrances. External elevation and roof refurbishment of both buildings including cleaning and repair works, replacement of non-original glazed double doors and other works to the South building's glazed curtain wall system (Application for Listed Building Consent) Recommendations: Approval	47 - 74

PART II - MEMBERS ONLY

That the reports in Part 2 of this agenda be declared not for publication because they involve the disclosure of information in accordance with Section 100(A) and Part 1 of Schedule 12 (A) to the Local Government Act 1972 (as amended), in that they contain exempt information and that the public interest in withholding the information outweighs the public interest in disclosing it.

10	Enforcement Report	75 - 84
11	Enforcement Report	85 - 92
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PART I - Plans for Central and South Planning Committee

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Agenda Item 3

Minutes



HILLINGDON
LONDON

CENTRAL & SOUTH PLANNING COMMITTEE

7 January 2021

Meeting held at VIRTUAL - Live on the Council's YouTube channel: Hillingdon London

	<p>Committee Members Present: Councillors Steve Tuckwell (Chairman), Alan Chapman (Vice-Chairman), Shehryar Ahmad-Wallana, Mohinder Birah, Nicola Brightman, Roy Chamdal, Farhad Choubedar and Janet Duncan (Opposition Lead)</p> <p>LBH Officers Present: James Rodger (Head of Planning, Transportation and Regeneration), Neil Fraser (Democratic Services Officer), Meghji Hirani (Planning Contracts & Planning Information), Glen Egan (Office Managing Partner - Legal Services), Alan Tilly (Transport Planning and Development Manager) and Steven Clarke (Democratic Services Officer)</p>
143.	<p>APOLOGIES FOR ABSENCE <i>(Agenda Item 1)</i></p> <p>Apologies for absence were received from Councillor Jazz Dhillon.</p>
144.	<p>DECLARATIONS OF INTEREST IN MATTERS COMING BEFORE THIS MEETING <i>(Agenda Item 2)</i></p> <p>None.</p>
145.	<p>TO SIGN AND RECEIVE THE MINUTES OF THE PREVIOUS MEETING <i>(Agenda Item 3)</i></p> <p>RESOLVED: That the minutes of the meeting held on 03 December 2020 be approved as a correct record.</p>
146.	<p>MATTERS THAT HAVE BEEN NOTIFIED IN ADVANCE OR URGENT <i>(Agenda Item 4)</i></p> <p>It was confirmed that agenda item 7 had been withdrawn by the Head of Planning prior to the meeting.</p>
147.	<p>TO CONFIRM THAT THE ITEMS OF BUSINESS MARKED PART I WILL BE CONSIDERED IN PUBLIC AND THAT THE ITEMS MARKED PART 2 WILL BE CONSIDERED IN PRIVATE <i>(Agenda Item 5)</i></p> <p>It was confirmed that items 1-12 were in Part I and would be considered in public and items 13-16 were in Part II and would be considered in private.</p>

148. **LAND ADJACENT TO 10 KENT CLOSE & 5 FAIRLIGHT DRIVE, KENT CLOSE - 75553/APP/2020/1357 (Agenda Item 6)**

Officers introduced the application advising the Committee that an appeal for non-determination had been received and as such, Members would be deciding whether they would agree with the officer's recommendations had a non-determination appeal not been received.

Members were informed that the application was in outline form and that they were considering matters related to access and layout. Matters relating to appearance, landscaping and scale would be reserved for future determination, should the application be approved by the Committee.

The Committee were informed that Kent Close and Fairlight Drive were dense developments and the availability of undeveloped space provided relief within the vicinity; officers deemed development of the site in question to be against the character of the area. Regarding parking allocation, the intended parking provision was deemed insufficient as the intended space was already allocated to another property and due to a low Public Transport Accessibility Level (PTAL) of two, any resident of the dwelling would be likely to rely on a vehicle for transport. Although details were not available in relation to the dwelling's height and scale, officers felt that given its siting, there may be an impact on adjoining occupiers in terms of visual intrusion, overlooking and loss of privacy.

A petition in objection to the application had been received and written representations from the lead petitioner were read out for the consideration of the Committee. Key points raised included:

- Petitioners supported the recommendations made by officers in the associated report;
- That the proposed application was considered to be 'backland' development and petitioners saw it as harmful to the character of the area;
- The undeveloped nature of the site made a positive contribution to the open character of the sites surroundings;
- The development of the dwelling close to the side boundary would fill the gap between numbers 10 and 11 Kent Close, this was deemed to provide an important visual break and would disturb the spaciousness of the area;
- There were concerns relating to a loss of privacy for existing and future residents of the adjoining properties.

The agent had also submitted written representations which were read out for the consideration of the Committee. Key points raised included:

- Although the application had been appealed against non-determination, the agent wanted to address the reasons for refusal as set out in the associated Committee report;
- Regarding the point of overdevelopment, matters relating to scale, appearance and landscaping of the development had been reserved and the Council would have had the opportunity to refuse any subsequent reserved matters application where these aspects of the proposal were deemed unacceptable. Therefore, it was not considered reasonable that the current application be refused for reasons of overdevelopment.
- The proposal was shown to be underdeveloped when considered against the density matrix as prescribed in the London Plan.

- As the scale was reserved and the building was likely to be single storey, the agent disagreed that the proposal would impact on the openness or spaciousness of the estate.
- As the appearance of the building was reserved, it was not evident how the proposal would cause any overlooking.
- The agent stated that the proposed parking space for the dwelling was in fact owned by the applicant.
- Although it was recognised that the site was in PTAL of two, the dwelling was located less than 600m from Uxbridge Metropolitan Town Centre where there was access to Uxbridge Underground Station.

Members noted that they were only to consider matters relating to access and layout; the Committee deemed the application not to be viable due to the insufficient parking allocation and the likelihood of overlooking when details of height and scale were established.

No further concerns were raised and Members were in agreement with the officer's recommendation.

The officer's recommendation was moved, seconded and, when put to a vote, unanimously agreed.

RESOLVED: That had a non-determination appeal not been received, the application would have been refused.

149. 1 RAYNTON CLOSE, HAYES - 8096/APP/2020/3154 (Agenda Item 7)

This application was withdrawn by the Head of Planning prior to commencement of the meeting.

150. 336 BALMORAL DRIVE, HAYES - 71770/APP/2020/3572 (Agenda Item 8)

Officers introduced the item and informed the Committee that the proposal did not result in more than 10% of properties being redeveloped/converted into flats within 500m either side of the site, as was Council policy. It was noted that the site was located within a Public Transport Accessibility Level of three and would therefore require the provision of between one and one and a half parking spaces per dwelling. Members attention was drawn to the additional two conditions recommended in the addendum to the report and were encouraged to explore the possibility amending condition three in relation to widening the existing dropped curb as both parking spaces would need to be independently accessible.

Written representations had been received from the lead petitioner and were read out to the Committee. Key points raised included:

- The property was intended to be a family home since its construction in the 1930s and the changes proposed would not preserve housing stock of a particular size and style;
- Petitioners claimed the applicant did not have a satisfactory relationship with adjoining neighbours.
- There were concerns of excessive noise coming from the property at present and petitioners felt like this was likely to increase.
- The dropped curb outside the property did not facilitate the parking of two cars comfortably.

- Parking on the street was already at a premium, if either of the flats had more than one car, it would further increase parking pressures on the road.
- Conversion of the property into two flats would create additional pressures on drainage and sewage infrastructure.
- There were concerns that if the application were approved, it would set a precedent for similar family homes to be converted into flats in the area.

Members were informed that any condition regarding the design of a dropped curb should mention that it would need to conform with the Council's guidelines and it was requested that the exact wording of the condition be delegated to the Head of Planning.

The Committee raised concerns about the delegation of parking spaces to the front of the property as the headlights of any car returning to the property could glare into the front facing bedroom of the ground floor flat. Members were minded to add a condition, with the exact wording delegated to the Head of Planning, allocating the space directly in front of the ground floor window to the residents of the ground floor flat to avoid the intrusion of vehicle headlights.

The officer's recommendation in addition to the agreed upon conditions, was moved, seconded and, when put to a vote, unanimously agreed.

RESOLVED: That:

- 1) **The application be approved subject to the additional conditions in the addendum to the report; and**
- 2) **Delegated authority be granted to the Head of Planning to establish the wording of an additional condition in respect of widening the property's dropped curb and the allocation of parking spaces.**

151. **LAND ADJACENT TO 27 FURZEHAM ROAD - 75891/APP/2020/2961 (Agenda Item 9)**

Officers introduced the application and outlined to Members the reasons for recommending refusal; that the proposed dwelling would result in an incongruous form of development, that the development would be detrimental to the amenities of the adjoining occupiers and that the dwelling would fail to meet the requirements of people with disabilities.

A petition in objection to the application had been received. The lead petitioner's written representations were read out for the consideration of the Committee. Key points highlighted included:

- There was no parking space to the front of the proposed development site and no option to create additional spaces there. The residents did not want the lamppost to be removed;
- The proposed development would not be in keeping with the character of the rest of the street;
- Residents in Ruffles Close would have less sunlight in their gardens and their properties would be overlooked;
- The development would exacerbate sewage and water pressure problems;
- There was the potential for the development to be converted to an HMO at a later stage which would put further pressure on parking. HMOs already existed in the street and, in the past, tenants had been disrespectful and noisy.

Written representations had also been received from Councillor Jan Sweeting, Ward Councillor for West Drayton. These were read out for the consideration of Committee Members. Key points highlighted included:

- The proposal would be a significant overdevelopment of the site and would have an adverse impact on the character and appearance of the street scene;
- The development would have an adverse impact on neighbouring properties in Furzeham Road and Ruffle Close;
- The development would create a property of excessive size and bulk out of character with the neighbouring attractive houses.

Members noted that there were very clear reasons for refusal. The Committee discussed the possibility of an additional reason for refusal due to the lack of off street parking; however, officers informed Members that any residents of the proposed dwelling would be allowed to join the parking management scheme and that insufficient parking allocation should not be used as a reason for refusal.

Members concurred with the officer's recommendation which was moved, seconded and, when put to a vote, unanimously agreed.

RESOLVED: That the application be refused.

152. **CEDAR HOUSE VINE LANE - 12019/APP/2020/3615 (Agenda Item 10)**

Prior to the start of this item it was agreed that items 10 and 11 would be heard together as one presentation from officers, with one debate by the Committee. Members would then hold separate votes for each application.

Officers presented the application and noted that strong objections had been received from both conservation and landscaping officers; it was also noted that the site was within a conservation area and a parking management area. Officers outlined the reasons for recommending refusal and informed the Committee that, although the report showed the adjacent building as Grade II Listed, it was in fact Grade II* Listed, a more significant category of listing.

A petition in objection to the application had been received, however no written representation had been received by the lead petitioner to be read out to Committee Members. Written representations from the applicant were read out for the consideration of the Committee. Key points raised included:

- It was emphasised that the permission sought was temporary and the site would be returned to its previous condition after 31 December 2021;
- Access to the site would be from the existing car park in Vine Lane and would therefore not impact on residents of Cedar Drive and Buckingham Grove.
- That the damaged wall of the access gate would be repaired under a separate listed consent application;
- A Tree Protection Order survey and an Arboricultural Implication Assessment could be submitted by 31 January 2021 which would address any impact on the site's tree roots;
- The temporary surface would not result in any excavation works and would not have a significant impact upon the condition of the ground beneath.
- The wall bordering the car park was separated from the parking area by plant beds. The applicant offered to provide additional barriers to keep cars away from the wall.

- The business had been badly hit by the coronavirus pandemic and many cars were not on the road, hence the need for the overflow car park.

Members considered the site not to be appropriate for the proposal's intended use and highlighted that it would be more appropriate as ancillary parking for people visiting the adjacent office. The Committee expressed agreement with the officer's recommendation.

The officer's recommendation was moved, seconded and, when put to a vote, unanimously agreed.

RESOLVED: That:

- 1) The application be refused; and
- 2) Delegated authority be granted to the Head of Planning to amend the wording of the reasons for refusal to account for the adjacent building being Grade II* Listed.

153. CEDAR HOUSE VINE LANE - 12019/APP/2020/3616 (Agenda Item 11)

Prior to item 10, it was agreed that items 10 and 11 would be heard together as one presentation from officers, with one debate by the Committee. Members would then hold separate votes for items 10 and 11.

The officer's recommendation was moved, seconded and, when put to a vote, unanimously agreed.

RESOLVED: That:

- 1) The application be refused; and
- 2) Delegated authority be granted to the Head of Planning to amend the wording of the reasons for refusal to account for the adjacent building being Grade II* Listed.

154. S106 QUARTERLY MONITORING REPORT (Agenda Item 12)

The report was introduced to the Committee and Members were asked to note the contents.

RESOLVED: That the monitoring report was noted.

155. ENFORCEMENT REPORT (Agenda Item 13)

RESOLVED:

1. That the enforcement action, as recommended in the officer's report, was agreed; and,
2. That the Committee resolved to release their decision, and the reasons for it outlined in the report, into the public domain, solely for the purposes of it issuing the formal breach of condition notice to the individual concerned.

This item is declared as exempt from publication as it involves the disclosure of information in accordance with Section 100(A) and paragraphs 1, 2 & 7 of Part 1 of

Schedule 12 (A) to the Local Government Act 1972 (as amended), in that the report contains **information relating to any individual, information likely to reveal the identity of an individual and information relating to any action taken or to be taken in connection with the prevention, investigation or prosecution of crime** and that the public interest in withholding the information outweighs the public interest in disclosing it.

156. **ENFORCEMENT REPORT** *(Agenda Item 14)*

RESOLVED:

1. **That the enforcement action, as recommended in the officer's report, was agreed; and,**
2. **That the Committee resolved to release their decision, and the reasons for it outlined in the report, into the public domain, solely for the purposes of it issuing the formal breach of condition notice to the individual concerned.**

This item is declared as exempt from publication as it involves the disclosure of information in accordance with Section 100(A) and **paragraphs 1, 2 & 7** of Part 1 of Schedule 12 (A) to the Local Government Act 1972 (as amended), in that the report contains **information relating to any individual, information likely to reveal the identity of an individual and information relating to any action taken or to be taken in connection with the prevention, investigation or prosecution of crime** and that the public interest in withholding the information outweighs the public interest in disclosing it.

157. **ENFORCEMENT REPORT** *(Agenda Item 15)*

RESOLVED:

1. **That the enforcement action, as recommended in the officer's report, was agreed; and,**
2. **That the Committee resolved to release their decision, and the reasons for it outlined in the report, into the public domain, solely for the purposes of it issuing the formal breach of condition notice to the individual concerned.**

This item is declared as exempt from publication as it involves the disclosure of information in accordance with Section 100(A) and **paragraphs 1, 2 & 7** of Part 1 of Schedule 12 (A) to the Local Government Act 1972 (as amended), in that the report contains **information relating to any individual, information likely to reveal the identity of an individual and information relating to any action taken or to be taken in connection with the prevention, investigation or prosecution of crime** and that the public interest in withholding the information outweighs the public interest in disclosing it.

158. **ENFORCEMENT REPORT** *(Agenda Item 16)*

RESOLVED:

1. **That the enforcement action, as recommended in the officer's report, was agreed; and,**
2. **That the Committee resolved to release their decision, and the reasons for**

it outlined in the report, into the public domain, solely for the purposes of it issuing the formal breach of condition notice to the individual concerned.

This item is declared as exempt from publication as it involves the disclosure of information in accordance with Section 100(A) and **paragraphs 1, 2 & 7** of Part 1 of Schedule 12 (A) to the Local Government Act 1972 (as amended), in that the report contains **information relating to any individual, information likely to reveal the identity of an individual and information relating to any action taken or to be taken in connection with the prevention, investigation or prosecution of crime** and that the public interest in withholding the information outweighs the public interest in disclosing it.

The meeting, which commenced at 7.00 pm, closed at 8.36 pm.

These are the minutes of the above meeting. For more information on any of the resolutions please contact Democratic Services on Telephone 01895 250636 - email (recommended) democratic@hillingdon.gov.uk. Circulation of these minutes is to Councillors, Officers, the Press and Members of the Public.

The public part of this meeting was filmed live on the Council's YouTube Channel to increase transparency in decision-making, however these minutes remain the official and definitive record of proceedings.

Agenda Item 6

Report of the Head of Planning, Transportation and Regeneration

Address 1 RAYNTON CLOSE HAYES
Development: Two storey side extension and single storey side/rear extension
LBH Ref Nos: 8096/APP/2020/3154
Drawing Nos: 1rayntonclose2019-04 Received 10-12-2020
1rayntonclose2019-05 Received 10-12-2020
1rayntonclose2019-06 Received 10-12-2020
1rayntonclose2019-07 Received 10-12-2020
1rayntonclose2019-07A
1rayntonclose2019-01
1rayntonclose2019-02 (Existing First Floor Plan)
1rayntonclose2019-02 (Existing Elevations)

Date Plans Received: 03/10/2020 **Date(s) of Amendment(s):** 03/10/2020
Date Application Valid: 07/10/2020

1. CONSIDERATIONS

1.1 Site and Locality

The application site relates to a two storey semi-detached dwellinghouse located on the south side of Raynton Close. The application property is setback from the adjacent highway and benefits from a good size garden. There is an existing vehicular access located on the side boundary with hardstanding for off-street parking. To the rear is an enclosed garden.

1.2 Proposed Scheme

The applicant is seeking planning permission for a two storey side extension and single storey side/rear extension following the demolition of the existing garage. The two storey extension would have a width of 2.856m, with a depth matching the dwelling, set back 1.93m from the front elevation on both floors and a ridge height set below the original ridge height. The single storey element would have a depth, from the original rear of the dwelling of 2.9m and a height of 3m (both matching the existing single storey rear extension).

1.3 Relevant Planning History

8096/APP/2019/3719 1 Raynton Close Hayes

Part two storey, part single storey side extension

Decision Date: 05-02-2020 **Refused** **Appeal:** 22-SEP-20 **Dismissed**

Comment on Planning History

8096/APP/2019/3719 : Part two storey, part single storey side extension. Refused and Appeal Dismissed.

2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- Not applicable

2.2 Site Notice Expiry Date:- Not applicable

3. Comments on Public Consultations

8 neighbouring properties were consulted via letter on 09-10-20 and expired on 30-10-20. 4 representation and a petition with 26 signatures received objecting to the proposal on the following grounds;

1. Impact on residential amenity of the neighbouring properties in terms of light, loss of privacy, overshadowing and overdominance.
2. The proposed dwelling, by reason of its size, scale, bulk, excessive width and proximity to the side boundary, would result in an incongruous addition which would be detrimental to the architectural composition of the original semi-detached dwelling, would be detrimental to the character, appearance and symmetry of the pair of semi-detached houses.
3. Raynton Close suffers from parking stress as not all properties have sufficient off-street parking available. The development would put further strain on parking for all residents and visitors to properties in Raynton Close.
4. Likelihood of the property being converted to HMO with associated parking issues.
5. Insufficient amenity space.

Officer Comment: A condition is proposed to prevent the enlarged property being subdivided or converted to an HMO without a further grant of planning consent. Other matters are addressed in the planning report.

4. Local Plan Designation and London Plan

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

DMHB 11 Design of New Development

DMHB 12 Streets and Public Realm

DMHD 1 Alterations and Extensions to Residential Dwellings

DMT 6 Vehicle Parking

LPP 3.5 (2016) Quality and design of housing developments

5. MAIN PLANNING ISSUES

The main issues for consideration in determining this application relate to the effect of the proposal on the character and appearance of the original dwelling, the impact on the visual amenities of the surrounding area, the impact on the residential amenity of the neighbouring dwellings, provision of acceptable residential amenity for the application property and the availability of parking.

Impact on character and appearance

The Hillingdon Local Plan: Part One Strategic Policy BE1 seeks a quality of design in all new development that enhances and contributes to the area in terms of form, scale and materials; is appropriate to the identity and context of the townscape; and would improve the quality of the public realm and respect local character.

Policy DMHD 1 states that extensions of dwellings will be required to ensure that: i) there is no adverse cumulative impact of the proposal on the character, appearance or quality of the existing street or wider area; iii) new extensions appear subordinate to the main dwelling in their floor area, width, depth and height;

Section B states that i) single storey rear extensions on terraced or semi-detached houses with a plot width of 5 metres or less should not exceed 3.3 metres in depth or 3.6 metres where the plot width is 5 metres or more;

Section C states that (i) side extensions should not exceed half the width of the original property; iv) two storey side extensions should be set in a minimum of 1 metre from the side boundary; and v) two storey side extensions to detached and semi-detached properties should be set back a minimum of 1 metre behind the main front elevation.

Policy DMHB 11 states that new development will be required to be designed to the highest standards and, incorporate principles of good design including: i) harmonising with the local context by taking into account the surrounding scale of development, considering the height, mass and bulk of adjacent structures.

The host dwelling is located in a prominent position in the street, close to the junction of Raynton Close with Raynton Drive (the junction) and has not been significantly extended. Whilst noting the detached dwelling on the opposite side of the junction, the surrounding dwelling types are similar to the host dwelling. This forms a strong and positive characteristic in the street scene.

The application site is a built-up residential area where extensions to properties are considered acceptable. The proposal would involve a two storey side extension and single storey side/rear extension following the demolition of the existing garage. This is a revised submission following the refusal of and dismissal of the appeal of the previous scheme, which was refused on the basis of the excessive width of the proposed extension. In dismissing the appeal, the Inspector commented as follows:

"4. The appeal scheme would provide a significant amount of additional accommodation when compared with the original property. The proposed development would extend the width of the building considerably and thus, increase its scale and massing. The resultant effect would be an overly wide addition to the host dwelling relative to its existing proportions. Whilst the scheme would incorporate a lower ridge line and a 2m set back from the existing front elevation, I do not find these design elements would be sufficient to outweigh the visual harm created by the width of the proposed development in this instance.

5. Additionally, the fenestration details in the front elevation of the proposed development emphasises the excessive width of the scheme. These factors would diminish and unbalance the character and appearance of the host dwelling to the detriment of the wider street scene."

The proposed two storey side extension would be setback from the main front elevation by

the same distances as the previous scheme (1.935m) and would have an increased set in from the side boundary (minimum 3m at the rear increasing to over 6m to the front), due to the reduction in width of the extension. As proposed, the extensions would not exceed half the width of the original property and would be set further from the side boundary when compared to the recently refused application. The current design approach would help integrate the proposed development with existing and neighbouring houses without compromising the quality of the existing street and wider area. Additionally, the fenestration details in the front elevation of the proposed development emphasise the moderate width of the scheme. These factors would ensure the streetscape rhythm and the character and appearance of the host dwelling are not compromised.

The current design would also ensure that the openness of the area is maintained. Whilst it would be visible from the street scene, it is not considered detrimental to the character and appearance of the street scene by reason of its design, scale and siting and would, thus, accord to the design, character and appearance aims of Policy BE1 of the Hillingdon Local Plan: Part One -Strategic Policies (November 2012), Policies DMHB 11, DMHB 12 and DMHD 1 of the Hillingdon Local Plan: Part Two -Development Management Policies (2020).

Impact on residential amenity

The application site is bordered by residential properties. The only property likely to be impacted is 2 Raynton Close. No.2 has habitable rooms within its front elevation and is located on the west side of the application site with a degree of separation distance.

The proposed development is set some 6m from the nearest point of 2 Raynton Close and angles away from this property. There are no windows proposed along the flank elevation of the two storey side extension. Whilst there are habitable rooms to the front of adjoining property at No.2, the proposed two storey side extension is unlikely to significantly harm the residential amenity of this property in terms of loss of light or outlook, given the distance of the extension from these rooms and its scale.

The proposal includes a door/window on the ground floor in the flank elevation. The ground floor window/door would look on to the boundary fencing directly facing the front garden of No.2. Taking into account the design, scale and siting of the proposed extension, it is not considered to adversely harm the amenity of the neighbouring property in terms of overlooking or loss of privacy.

It is considered that all the proposed habitable rooms, and those altered by the extension, would maintain an adequate outlook and source of natural light, therefore complying with the Mayor of London's Housing Standards Minor Alterations to The London Plan (March 2016).

Policy DMHD 1 section A (vi) states that sufficient garden space to be retained as a consequence of an extension. The property currently benefits from a rear/private side garden of some 95sq.m. This would be reduced to 79sq.m. The existing garage/outbuilding has been demolished and the space incorporated into the amenity space. Therefore, it is considered that sufficient garden space would be retained for the extended dwelling, in accordance with the above policy.

The site has a minimum of two off-street parking spaces served by the existing vehicular access. Therefore, the proposal would not have a negative impact on the highway and pedestrian safety, and comply with Policies DMT 2 and DMT6 of the Local Plan Part 2 -

6. RECOMMENDATION

APPROVAL subject to the following:

1 HO1 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2 HO2 Accordance with approved

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 1rayntonclose2019-04, 1rayntonclose2019-05, 1rayntonclose2019-06 and 1rayntonclose2019-07.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan Part 1 (2012) and Part 2 (2020), and the London Plan (2016).

3 HO4 Materials

The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building and shall thereafter be retained as such.

REASON

To safeguard the visual amenities of the area and to ensure that the proposed development does not have an adverse effect upon the appearance of the existing building in accordance with Policy DMHB 11 of the Hillingdon Local Plan Part 2 (2020)

4 HO5 No additional windows or doors

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (as amended) (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls or roof slopes of the development hereby approved facing property at No.2 Raynton Close.

REASON

To prevent overlooking to adjoining properties in accordance with policy DMHB 11 of the Hillingdon Local Plan Part 2 (2020).

5 HO7 No roof gardens

Access to the flat roof over the extension hereby approved shall be for maintenance or emergency purposes only and the flat roof shall not be used as a roof garden, terrace, balcony, patio or similar amenity area.

REASON

To prevent overlooking to adjoining properties in accordance with policy DMHB 11 of

the Hillingdon Local Plan Part 2 (2020).

6 NONSC Non Standard Condition

The development hereby approved shall not be sub-divided to form additional dwelling units or used in multiple occupation without a further express permission from the Local Planning Authority.

REASON

To ensure that the premises remain as a single dwelling until such time as the Local Planning Authority may be satisfied that conversion would be in accordance with Policies DMH 4 and DMH 5 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

INFORMATIVES

- 1** On this decision notice policies from the Council's Local Plan: Part 1 - Strategic Policies appear first, then relevant Local Plan Part 2 (2020), then London Plan Policies (2016). Hillingdon's Full Council adopted the Hillingdon Local Plan: Part 1 - Strategic Policies on 8 November 2012 and the Hillingdon Local Plan Part 2 on 16 January 2020.
- 2** The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

For Private Roads: Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths on private roads during construction. Vehicles delivering materials to this development shall not override or cause damage to a private road and where possible alternative routes should be taken to avoid private roads. The applicant may be required to make good any damage caused.

Standard Informatives

- 1** The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

DMHB 11	Design of New Development
DMHB 12	Streets and Public Realm
DMHD 1	Alterations and Extensions to Residential Dwellings
DMT 6	Vehicle Parking
LPP 3.5	(2016) Quality and design of housing developments

3 You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

4 You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application may have to be submitted. The validity of this planning permission may be challengeable by third parties if the development results in any form of encroachment onto land outside the applicant's control that is considered to cause harm to local amenity.

5 Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning, Environment and Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

6 You have been granted planning permission to build a residential extension. When undertaking demolition and/or building work, please be considerate to your neighbours and do not undertake work in the early morning or late at night or at any time on Sundays or Bank Holidays. Furthermore, please ensure that all vehicles associated with the construction of the development hereby approved are properly washed and cleaned to prevent the passage of mud and dirt onto the adjoining highway. You are advised that the Council does have formal powers to

control noise and nuisance under The Control of Pollution Act 1974, the Clean Air Acts and other relevant legislation. For further information and advice, please contact - Environmental Protection Unit, 4W/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250190).

7 The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:

- carry out work to an existing party wall;
- build on the boundary with a neighbouring property;
- in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning, Environment and Community Services Reception, Civic Centre, Uxbridge, UB8 1UW.

8 Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

9 Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

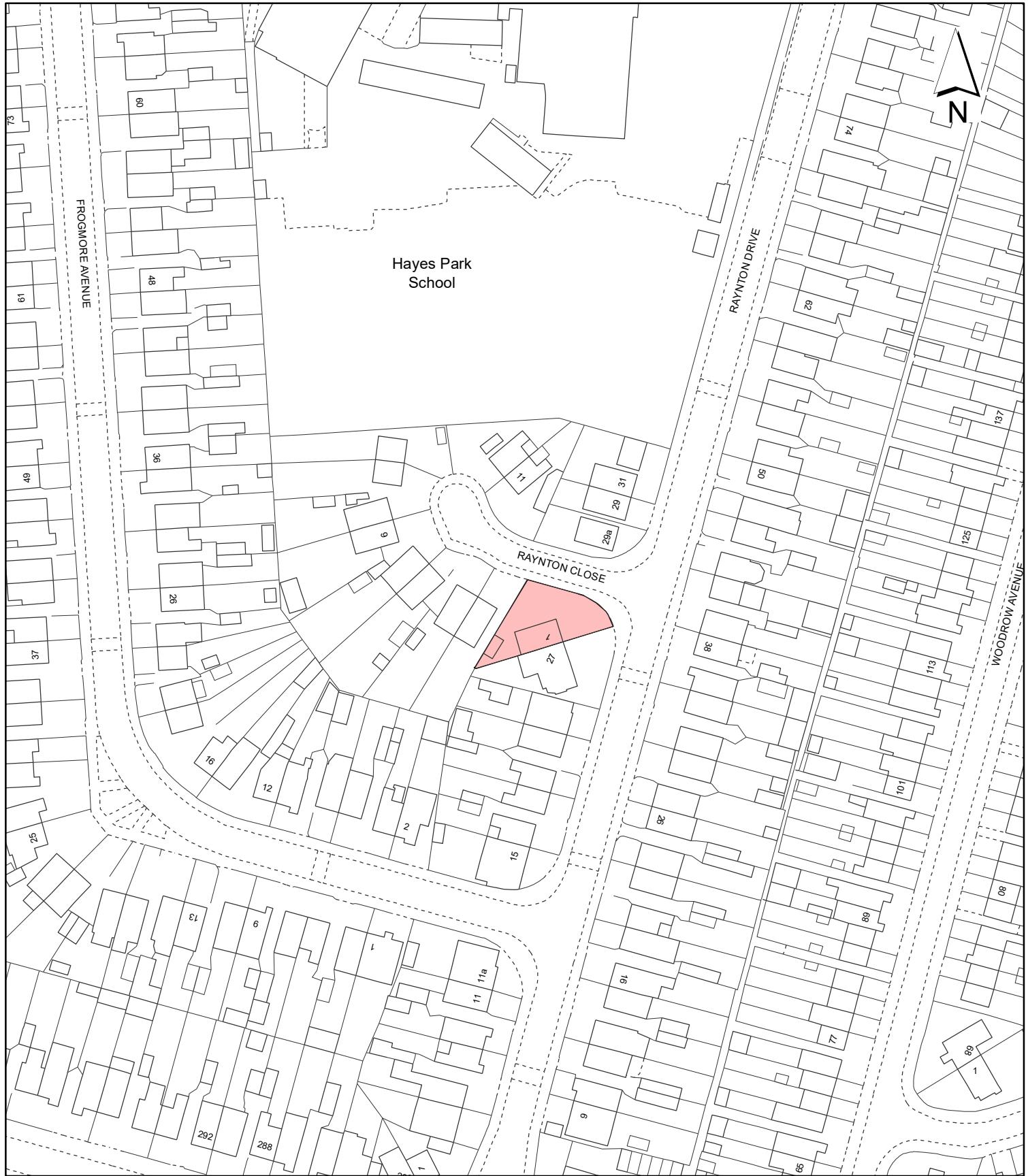
- A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays Bank and Public Holidays.
- B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.
- C) The elimination of the release of dust or odours that could create a public health nuisance.
- D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

- 10 You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Act.
- 11 To promote the development of sustainable building design and construction methods, you are encouraged to investigate the use of renewable energy resources which do not produce any extra carbon dioxide (CO2) emissions, including solar, geothermal and fuel cell systems, and use of high quality insulation.
- 12 You are advised that care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense. For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

Contact Officer: Batatunde Aregbesola

Telephone No: 01895 250230



Notes:

 Site boundary

For identification purposes only.

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Site Address:

**1 Raynton Close
Hayes**

**LONDON BOROUGH
OF HILLINGDON**
Residents Services
Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: 01895 250111

Planning Application Ref:

8096/APP/2020/3154

Scale:

1:1,250

Planning Committee:

Central & South

Date:

February 2021



HILLINGDON
LONDON

Agenda Item 7

Report of the Head of Planning, Transportation and Regeneration

Address SPITFIRE HOUSE CHURCHILL ROAD UXBRIDGE

Development: Installation of a rooftop base station to accommodate 6 antenna apertures, 4 600mm dishes, 9 cabinets and associated ancillary development thereto

LBH Ref Nos: 585/APP/2020/3892

Drawing Nos:

- 266 Max Configuration Site Elevation B + C Issue E
- 2G/3G/4G Coverage Plots - EE
- 3G/4G Coverage Plots - 3UK
- Supplementary Information
- Signed Declaration of Conformity with ICNIRP Public Exposure Guideline: 5G Mobile Technology: a guide
- Home Office Emergency Services Network (ESN) Information Note
- 265 Max Configuration Site Elevation A Issue E
- 5G and Future Technology
- Covering Letter 24 November 2020
- Notice Under Article 13 of Application for Planning Permission
- Developers Notice 24 November 2020
- 002 Site Location Plan Issue C
- 100 Existing Site Plan Issue D
- 215 Max Configuration Site Plan Issue E
- 150 Existing Site Elevation Issue C

Date Plans Received: 24/11/2020 **Date(s) of Amendment(s):** 26/11/2020

Date Application Valid: 24/11/2020

1. **SUMMARY**

The application seeks full planning permission for a rooftop base telecommunication to accommodate 6 x antenna apertures, 4 x 600mm dishes, 9 x cabinets and associated ancillary development thereto. One of the the cabinets is to be located at ground floor level adjacent to the residential car park. The purpose of this telecommunication radio equipment is to replace site 90779 at Brunel University, which is at risk of being lost under circumstances which the operators state are beyond their control. As such, a replacement site is sourced to prevent potential loss of service when the existing apparatus is removed as noted in the applicant's supplementary information document. The application site will provide coverage for two operators, EE UK Ltd and H3G UK Ltd.

The proposed telecommunication base station is a new site located on the rooftop of a four storey high apartment building in a dense residential area. Given its location, the proposal is considered to be an incongruous and visually obtrusive form of development. This proposal is a permanent structure that would not harmonise with the character of the area and would be detrimental to the local visual amenities, impacting the residents and the wider community in general which have been reflected in the comments received from the petition and public consultation.

Although Chapter 10 of the NPPF (2019) encourages the support of electronic communication developments and its benefits, however, the impact of the development would not overcome the above concerns which are material considerations. As such, it

fails to comply with Policies DMHB 11 and DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020) and the National Planning Policy Framework (2019).

This application is recommended for Refusal.

2. **RECOMMENDATION**

REFUSAL for the following reasons:

1 NON2 Non Standard reason for refusal

The proposed development, by reason of its siting in this open prominent position, size, scale, bulk, height and design would fail to harmonise with the architectural composition of the original building and would be detrimental to the character, appearance and visual amenities of the street scene and the surrounding area. The proposal is therefore contrary to Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies DMHB 11 and DMHB 21 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020) and the National Planning Policy Framework (February 2019).

2 NON2 Non Standard reason for refusal

The proposed development, by virtue of its size, scale, bulk and proximity would be detrimental to the amenities of the adjoining occupiers at 6-12 Churchill Road by reason of visual intrusion and loss of outlook. Therefore the proposal would be contrary to Policies DMHB 11 and DMHB 21 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

INFORMATIVES

1 I52 Compulsory Informative (1)

The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 I53 Compulsory Informative (2)

The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Local Plan Part 1 (2012) and Part 2 (2020) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

DMAV 1	Safe Operation of Airports
DMHB 11	Design of New Development
DMHB 21	Telecommunications
LPP 4.11	(2016) Encouraging a connected economy
NPPF- 10	NPPF-10 2018 - Supporting high quality communications

3 I59 Councils Local Plan : Part 1 - Strategic Policies

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant Local Plan Part 2 (2020), then London Plan Policies (2016). Hillingdon's Full Council adopted the Hillingdon Local Plan: Part 1 - Strategic Policies on 8 November 2012 and the Hillingdon Local Plan Part 2 on 16 January 2020.

In dealing with the application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies from the Local Plan Part 1, Local Plan Part 2, Supplementary Planning Documents, Planning Briefs and other informal written guidance, as well as offering a full pre-application advice service.

We have however been unable to seek solutions to problems arising from the application as the principal of the proposal is clearly contrary to our statutory policies and negotiation could not overcome the reasons for refusal.

3. CONSIDERATIONS

3.1 Site and Locality

The application site is on the rooftop of a four storeys high residential building, known as Spitfire House. The building is located at the junction of Churchill Road and Hillingdon Road. The proposed equipment is to be located on the west and the east side of the rooftop. There is an existing row of trees along the west of the building along Hillingdon Road and on the north between the building and Lacey Grove.

The surrounding area is mainly residential in nature with two to three storeys high terraces with loft space. The site is located within St Andrews Parks (Formerly RAF Uxbridge) and Tree Preservation area of 736. The former use of the land was MOD Land/Rifle Range. The site is within the Hillingdon Air Quality Management Area. The site is directly adjacent to a row of listed buildings, 11-25 Hillingdon Road.

3.2 Proposed Scheme

This application seeks to install a rooftop base station to accommodate 6 x antenna apertures, 4 x 600mm dishes, 9 x cabinets and associated ancillary development, however one metre cabinet is to be located on the ground floor level.

The proposed cabinet dimensions:

- 1 x Meter Cabinet (1.1 x 0.4 x 1.2metres)
- 1 x Link AC Mk5B (1.2 x 0.6 x 1.8metres)
- 1 x 3900A (0.6 x 0.48 x 1.6metres)
- 1 x FURO (0.75 x 0.6 x 2.1metres)
- 1 x APM5930 (0.64 x 0.60 x 2.16metres)
- 1 x EE APM5930 (0.64 x 0.48 x 1.2metres)
- 3 x Additional Cabinets (0.77 x 0.77 x 2.1metres)

The purpose of this telecommunication radio equipment is to replace site 90779 at Brunel University. The Brunel University site is at risk of being removed therefore, the applicant is attempting to secure an alternative site to prevent potential loss of service.

3.3 Relevant Planning History

Comment on Relevant Planning History

No planning history relevant to the application. This is a new site.

4. Planning Policies and Standards

Development Plan

1.1 Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.

1.2 The Development Plan for the London Borough of Hillingdon currently consists of the following documents:

The Local Plan: Part 1 - Strategic Policies (2012)
The Local Plan: Part 2 - Development Management Policies (2020)
The Local Plan: Part 2 - Site Allocations and Designations (2020)
The West London Waste Plan (2015)
The London Plan - Consolidated With Alterations (2016)

Material Considerations

The National Planning Policy Framework (NPPF) (2019) is also a material consideration in planning decisions, as well as relevant supplementary planning documents and guidance.

Emerging Planning Policies

Paragraph 48 of the National Planning Policy Framework (NPPF) 2019 states that 'Local Planning Authorities may give weight to relevant policies in emerging plans according to:

- (a) the stage of preparation of the emerging plan (the more advanced its preparation, the greater the weight that may be given);
- (b) the extent to which there are unresolved objections to relevant policies (the less significant the unresolved objections, the greater the weight that may be given); and
- (c) the degree of consistency of the relevant policies in the emerging plan to this Framework (the closer the policies in the emerging plan to the policies in the Framework, the greater the weight that may be given).

Draft London Plan (Intend to Publish Version, December 2020)

The GLA consulted upon a draft new London Plan between December 2017 and March 2018 with the intention of replacing the previous versions of the existing London Plan. The Plan was subject to examination hearings from February to May 2019, and a Consolidated Draft Plan with amendments was published in July 2019. The Panel of Inspectors appointed by the Secretary of State issued their report and recommendations to the Mayor on 8th October 2019.

The Mayor considered the Inspectors' recommendations and, on 9th December 2019, issued to the Secretary of State his intention to publish the London Plan along with a statement of reasons for the Inspectors' recommendations that the Mayor did not wish to accept. The Secretary of State responded on the 13th March 2020 and stated that he was exercising his powers under section 337 of the Greater London Authority Act 1999 to direct that modifications are required.

On 9th December 2020, the Mayor wrote to the Secretary of State to advise of his intention to formally approve a new draft London Plan, which included his best understanding of the modifications required. The Secretary of State responded on 10th December 2020 requesting that the draft London Plan was re-submitted with more specific amendments to address the 11 previous Directions and 2 additional Directions. On 21st December 2020, the Mayor formally approved a new London Plan, the 'Publication London Plan'. This has

been submitted to the Secretary of State. The Secretary of State has 6 weeks to respond or can request a further extension of time. The Mayor can only publish the Plan after the Secretary of State has given approval.

More limited weight should be attached to parts of draft London Plan policies where the Secretary of State has directed specific amendments. Greater weight may be attached to policies that are not subject to the specific amendments from the Secretary of State.

UDP / LDF Designation and London Plan

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

DMAV 1 Safe Operation of Airports

DMHB 11 Design of New Development

DMHB 21 Telecommunications

LPP 4.11 (2016) Encouraging a connected economy

NPPF- 10 NPPF-10 2018 - Supporting high quality communications

5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- 10th January 2021

5.2 Site Notice Expiry Date:- Not applicable

6. Consultations

External Consultees

A site notice was displayed to the front of the building and a total of 254 neighbouring owners/occupiers were consulted. A total of 95 objections and 1 comment in support of the application received.

Three councillors are opposed to this application and a valid petition with 185 signatures have been received. The desired outcome of the petition is the refusal of the application. The grounds of objection to this application include:

- Visual impact and unsightly vista on the roof of the block including masts which will reach 19.5m above ground level
- Ruining look and exclusive nature of the estate, out of character
- Ruining family centred nature of the estate
- Proximity to neighbouring houses
- Loss of local characteristics through unsympathetic design
- The need to maintain the historic character, identity, suburban qualities of the borough's places, buildings and spaces
- The proposed installation is not in character with a residential area (borough Policy: BE1 and HE1)

Summary of comments received:

Siting/Appearance/Amenity

- I am greatly worried about the structure on my building.
- It's going to look ugly.
- This will be out of character with the existing building and theme of estate.
- It will be overlooking our privacy in our hallway and our bedroom. It would overshadow and cause loss of light.
- Noise - the roof is not concrete, it is a Metsec roof, we hear everything, down to weather, if someone is up on the roof it sounds like someone is coming through, this would cause alarm and distress, with regular people up there to maintain this.
- This will not fit in with building regulations for the structure you want to install, this would be a huge fire risk due to high voltage of power directly above our heads, when we have been advised already by Paradigm that certain parts of the building haven't got fire stopping in. To put 6 x 19-meter structures directly above us, how is this going to be anchored to the roof to hold in place, during high winds and bad weather.
- It will be disastrous for the aesthetics of the development.
- This from aesthetics point of view and also security aspect as it will invite lot more visitors at any time to repair/maintain the kit once installed.
- I am against this application as it is a horrendous thing to put on the top of a residential building.
- Residential area, hazardous and unsightly
- Does not appear to the current view of the development and will be an eyesore. Will also mean extra external people coming to private land.
- Antennas shouldn't be in residential development, St Andrews Park as we are a small community that enjoys their life and beauty of the nature, park and history of the RAF in this location. The antennas will result in health and visual impact on local community
- I feel an installation of this type should not be in a residential area and would be better suited in the town centre which is only a short distance away.
- This installation is at the very visible site at the main entrance of the estate and highly visible from the busy Hillingdon Road.
- Totally inappropriate for a domestic setting.
- Visual impact and unsightly vista on the roof of the block including masts which will reach 19.5m above ground level. - The need to maintain the historic character, identity, suburban qualities of the borough's places, buildings and spaces - several locally listed buildings within St Andrew's Park.
- The proposed installation is not in character with a residential area (borough Policy: BE1 and HE1).
- St Andrew's Park is part of the London's Green Belt and the installation of this mast would be detrimental to this notion.
- I am against this application, as this will cause major visual damage for the St Andrews Park estate view.
- The security system is operated by entering a code and we feel that our privacy and safety will be at risk as these details will be given out to strangers who do not live here there are vulnerable adults and children living in the block.
- Out of character -The proposed site, because of the siting in this prominent position, size, scale and design of the proposed the size, scale and siting of the equipment cabinets, would create an obtrusive form of development which would be detrimental to the character, appearance and visual amenities of surrounding properties. The proposed site is part of The St. Andrew Park development, a development in Hillingdon Council local plan. The proposed installation contrary to Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012).
- It will be seen throughout the estate.
- Reading the documents its not a single tower its multiple masts.
- It would stand out within the development and surrounding parkland immensely.
- The St Andrews Park development represents an update to Uxbridge's housing stock and was designed to improve appearance in Hillingdon. All residents were requested to sign a deed of covenant so that this appearance is not altered. The proposed masts would deteriorate the current pleasant visual impression and will transform a beautiful neighbourhood into a ghetto-looking estate. In addition, Spitfire House is highly visible from Hillingdon road so the deterioration in street aspect would not affect only St Andrews Park but the entire Uxbridge area. Hillingdon road is one of the

main arteries leading to Uxbridge so almost all visitors would see the unsightly masts.

- This installation will have a strong negative impact on the skyline in the Uxbridge area.
- This area is of British historical importance (Royal Air Force) and the green space around Spitfire House should not be tainted by the dreadful structure.
- Based on the submitted plans, including ground elevations, the antenna apertures and satellite dishes that would be installed add almost 50% height to the existing structure, or 6.25m additional height on a 13m tall building. This is obtrusive in size and will have a detrimental impact on the look of the estate as a whole. The tree line is clearly not higher than the current structure itself, so the additional 6.25m (or nearly 2 story tall antenna masts and satellite dish installations) will be clearly visible from all angles of Spitfire House.
- I feel that the siting and appearance of the masts, dishes, and associated equipment would result in an incongruous and visually obtrusive form on the development which would be to the detriment of the visual amenity of the street scene and the wider community in general. As Spitfire House is sited at the top of a small hill right along Hillingdon Road, it is clearly visible to all passing traffic, and the rooftop is clearly visible from Churchill Road, the main thoroughfare of the St Andrews Park estate. The installation as proposed would have an impact on the overall beauty of the development as well as the value of the properties.
- The proposed installation of these industrial and commercial-sized antenna and dishes is not at all in keeping with the visual aesthetics of the community which comprises some 1300 homes. I feel that the installation of the proposed antenna, microwave dishes, and other equipment would further have a detrimental impact on the character and appearance of the development and surrounding area.
- The building is a landmark passed on route to Brunel as well as Hillingdon hospital, it would be an eyesore.
- Our outside space is already congested with cars of residents who need access to them 24hrs for work commitments including Teachers, Nurses, Social Workers and Delivery Drivers therefore, there is no room for any external equipment to install, fix or generally maintain this proposal. Having previously been on the roof I feel there is already a substantial amount of solar panels (amongst other things) on there and therefore adding to this will have a negative impact on the condition of the roof (which was not built for this sort of purpose) along with the amount of maintenance which it will require. Which in turn will reduce the condition of our roof along with increasing noise pollution when work is happening for our residents or perhaps even from the equipment itself.
- Out of character - The proposed installation is contrary to Hillingdon Council Policy HE1: Heritage & BE1: Built Environment The developments of St Andrew Park is a former RAF Uxbridge site. RAF Uxbridge is brimming with military history with the Grade II listed mansion, Hillingdon House forming the focal point of this soon-to-be thriving community. The installation will look giant monsters on the rooftop and does not fit the surrounding area. The proposed building is residential homes and surrounding residential scenes, historic properties and trees.
- Noises - Wind speed averages in the United Kingdom are generally highest in the winter months; hence, the proposed installation will harm residents living on the 3rd floor because tall apertures on the rooftop will create annoying noises, especially during windy days.
- There are also disabled residents in the building who will suffer if there is work going on as I am sure it will create blockages to the main entrance doors. There are also many parents with prams in the building who require the lift to access the exits and this will inevitably be damaged by the works making access extremely difficult. The lift regularly breaks down, so it will be worse with people using it additionally to access the roof with building materials. Not to mention the dirt and the noise.

Case Officer's Comments:

Concerns in relations to appearance and impact of the neighbours is addressed in the main body of this report. The site is not located in the Green Belt.

Health/Safety

- The impact of this plan is causing distress to local families.
- Affects physical health as well proven by medics.

- The impact of additional stress on your mental health eg. worrying about the potential impact of 5G on myself my children is not fair, one of my children have special needs. Our home is already not good for our mental health.
- It's a potential fire hazard as it's electricity on the roof. I strongly oppose this taking place.
- We also have an epileptic child who does not need high voltage static frequency's above his head.
- I'm against 5G antenna on Spitfire house not only for the bad image that bring on in St Andrews Development but also for concern over health issue which could impact residents locally due to 5G waves being above and near our homes.
- The Human Rights Act 1998 The proposed installation contravenes Protocol 1, Article 1 protects my right to enjoy my property peacefully. Property can include things like land, houses, objects you own, shares, licences, leases, patents, money, pensions and certain types of welfare benefits. This right applies to companies as well as individuals. This proposed installation also contravene ps Article 8 protects my right to respect for my private life, my family life, my home and my correspondence. I have the right to live in my property without fears of health risks, the anxiety of building safety & security and worries of disruption by the mast during development and after completion.
- Disturbance: The mast site development will cause noises from the rooftop and also lead the inconveniences in the surrounding neighbourhood such as road closures. Besides, many problems will arise from the construction activity associated with proposed works such as dust, construction vehicles, noises and hours of working.
- Unknown health risks - There is no conclusive proof that this won't be harmful to people using the area. There are plenty of papers on risks of 5G including loss of bees and birds. Another denied that there was any research to show that 5G is safe, but a vast body of evidence of serious adverse health effects from exposure to radiation emitted by these masts. There are many concerns over the safety of 5G. A 2017 appeal by 240 doctors and scientists has been sent to the EU to prevent the roll-out of 5G due to health concerns. As of May 8, 2020, 372 scientists and medical doctors have signed the appeal. Check out <http://www.5gappeal.eu>, for more info. There has not been sufficient research on the cumulative or long term effect of this technology. Many scientists consider it has the potential to cause serious harm to all animals, humans and the environment. Children are particularly vulnerable to these effects.
- Building Safety: The roof weight and thickness have not constructed to built additional massive telecom mast. I live on the 3rd floor at Spitfire House and have already suffering noises from the roof because solar panel installation and the issue could not be resolved by the builder until now. The telecom mast will increase the risks of damaging the roof or any mechanical equipment and the risk of causing rooftop leaking/noises or collapse.
- Having lived on the top floor for the past 5 years, the building shakes when a lorry or buses goes past. This has been reported to Hillingdon Council and to Paradigm, the shaking has caused three double windows to pop. Significant work to put reinforcement on the roof to hold the weight of the structure will be required. This would be a massive disruption to us.
- The access to the roof currently is small and internal and has no ladder permanently attached to it and therefore access would be difficult. The access is also restricted by the roof skylight that opens to give access to the roof when needed.
- The following is taken from The Invisible Rainbow by Arthur Firstenbeg, p313/4, Alfonso Balmori Mazrtinez reported 'serious health problems provoked by cell phone antennas as noticed on nearby rooftop sixty antenna between Dec 2000-Jan2002...when five cases of leukaemia and lymphoma were diagnosed at a local school...The antenna were removed by court order'. The EMF's can cause health problems and there's growing link between EMF's and cancer. There are millions more EMF radiation than 10 yrs ago (Dr Olle Johanson, Head of Neuroscience at the Karolinska Inst. Sweden). The 'high-frequency wireless' that requires antennas around our homes & businesses amplify this potentially dangerous signal and radiation. It is therefore necessary and urgent to do all that is in our power to lower the EMF radiation stress.
- Sampling of research on 5G, millimetre waves, cellular antennas, the environment and human health has posed serious questions from a study held by parliament committee and also finds mentions in several american research papers. Please refer to written evidence findings for health

and wellbeing concerns related to use more frequent high frequency radio waves in a populated area. <https://committees.parliament.uk/writtenevidence/2230/html/>.

Case Officer's Comments:

The applicant has submitted a signed Declaration of Conformity with ICNIRP Public Exposure Guidelines therefore acknowledging the proposal would be in full compliance with the requirement of the Radio Frequency (RF) Public Exposure.

Site Notice/consultation:

- We, as residents of the building, were not sent the planning application notice in the first round of communications from the planning department. An "oversight" when I queried the case worker. This kind of oversight is huge and a sign of gross disrespect to the residents. I feel that we have been marginalised because we are the "Housing Association" lot. Your planning strategy talks about getting the opinions from the marginalized in the community, but you forgot to send us the letters first off and the residents on Lacey Grove, directly behind Spitfire were also omitted. I also note that the site notice was nowhere to be found before I rang and questioned this.
- The way this has been handled between Waldon and the Planning department, is very unprofessional with vague letters and no letters going out.
- I also feel that the company and the council have not communicated properly with us. The company ignored our concerns and we only found out about the planning application through a letter shared by a neighbour on Churchill Road. I am annoyed by the lack of clear and open communication by the council with the residents of the building. After all we are the ones who have to live with this literally on our heads.

Case Officer's Comments:

All adjoining and nearby properties have been consulted via letters and a site notice was displayed adjacent to the site, exceeding best practice guidance and it is considered that the consultation undertaken was commensurate with the nature of the proposals. The only requirement regarding a site notice is that it remains on display for 21 days within the duration of the application in which the Council has fully complied with. Following receipt of revised plans, a further 14 days consultation was issued.

Other

- Not happy about that, we were not informed when we were buying the house that this may appear.
- Please do not allow this monstrosity to be installed on my building. I worked extremely hard to own my property and this is a a kick in the face.
- The value of my property will depreciate.
- We signed a contract when we purchased our property it states on page 20 item 6 that no outhouse, wireless or television aerial, advertisement board or boarding or other structure of any kind weather temporary or permanent shall be erected to the premises or the building or on the estate or any part thereof - this is breaking our contract which is legal document that we signed.
- Strongly oppose the installation of these rooftop base stations.
- Against the 5g.
- Not suitable for a residential building, it isn't fair on the residents.
- This application must be rejected.
- I am against this plan
- Against this being put here
- Not in favour of 5G towers over Spitfire flats in my neighbourhood
- I don't have EE network and not interested on my roof.
- You consulted residents on the block - they said no. We say no! Unsightly and wrong!
- What is the benefit of this to residents?
- I feel very strongly that this shouldn't be put on a residential property, or near one.
- We as residents feel this should go on some commercial buildings which are plenty in city centre of Uxbridge not in a housing locality!.

- I wish this proposal is not located on residential estate, there are plenty of space on the hill not close to where people live and will reduce impact on residential life.
- I believe there are many commercial buildings in the area fit for purpose instead.
- This will also potentially deter interests from future potential property buyers, the residents are also against this application as it is not in their interest and their rights have not been given due consideration.
- This is a commercial project and mostly seen on commercial buildings. Why has this residential building been chosen when earlier proposals failed on Brunel University and Cowley Business Park.
- There is no parking on site, as it is all permits there is also no facility to buy a visitor permit or to park on the road between any hours.
- The operators could consider installing equipment in station underground vault sites, radios; furthermore, antennas are mounted below street level, making it possible to use existing assets where fibre and power already exist. The other options are using small cells with street furniture, such as bus stops or outdoor advertising. The other example such as Los Angeles is the world's first city to deploy Philips' SmartPole street lighting with fully built-in 4G LTE wireless technology.
- Building Insurance: This residential building has completed in 2015 and property insurance covered by NHBC for ten years because the structural design of flat roofs is fulfilled the standard by NHBC. The operator plans to install a rooftop base with numbers of dishes, antennas and cabinets will destroy original roof structure and void the insurance premium.
- The operators could upgrade existing sites.
- I appreciate that we will need additional masts for 5G coverage to be effective and am grateful that St Andrew's Park estate will be included in the planned roll out of 5G coverage in Uxbridge. However, for many other residents you may need to more prominently explain why more masts are required and the benefits that they will get from 5G (i.e. not just existing services such as phone calls and internet) for the planning application to be more widely supported.
- We need to understand what type of 5G is planned (6GHz or millimetre wave?), why is it necessary to be on Spitfire building (could be standalone masts close to roads), how many other 5G antennas are planned after that (5G requires a lot of antennas when to its full capacity). To whom payments for the rental would go? Leaseholder, or us freeholders?
- Erecting a mast with substantial electrical equipment on top of a residential building is immoral.
- I believe that this installation would fall ever so slightly inside the exclusion zone for Northolt at 2.99km.
- Part 4: I would like to hope that Hillingdon Council will put "residents first at the heart of everything" you do and ensure "civic pride" ensuring that new buildings fit in with the natural environment". (Point 1.4 Strategic Plan Hillingdon Council).
- I strongly object this violation of our human rights as stated in the planning application on Cowley Business Park: 74118/APP/2020/3119 g The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life)- We have not had a fair hearing. The will remove our right to a private and family life- people on the roof, walking through our building without prior consent or permission.
- Please find a more suitable location, not a residential and historical area.
- No-one is going to be mortally affected if their phone runs on 4G and not 5G til a suitable non-residential site is found, but I am afraid the mental and emotional health of the residents of Spitfire and St Andrew's Park should be taken at greater value than whether someone can watch Sky Sports on their phone.
- The proposed installation is an industrial use in a residential building H3G and EE apply to install a new site will only generate business benefits for company interest. It is not for public interests to build a new mast in the proposed building because H3G and EE could also sign an agreement with Vodafone and share the mobile stations with Vodafone existing mobile stations.
- The operators should consider upgrade exiting stations or share mobile with other operators O2 and Vodafone do not have any issue with signal coverage in Uxbridge. Digital Economy 2017 also mentions that operators should share mobile stations or upgrade exiting telecommunication stations before building a new site.

- With this being a significant historical site of interest it should be preserved as much as possible.
- The estate has planning restrictions on the planning agreement with Hillingdon Council: Installing masts on the tops of buildings would be contrary to the requirements of condition 38 of 585/APP/2009/2752 - the outline planning application which granted planning permission to develop the old Uxbridge RAF site into St Andrews Park. Condition 38 states. Unless otherwise agreed in writing by the Local Planning Authority, no antenna, masts, poles, satellite dishes or the like shall be erected on the buildings hereby approved including the Mons Barrack Blocks building, with the exception of the Class C3 detached, semi-detached and terraced residential dwelling houses.
- There is strict control over these small family dishes, therefore a huge installation on the roof would be contravening the controls that you have over families and contradicting the council's own policies, which would make the residents of the area start a free for all as the message you would be sending is, anyone can do anything.
- It also destroys natural wildlife habitats around the development.

Agent's Response to Comments:

As outlined in section 2 of the Site Specific Supplementary Information document submitted, the Agent undertook pre application consultation and adhered to The Code of Best Practice on Mobile Network Development in England 2016.

It has been confirmed that the proposal is ICNIRP compliant by way of the submitted certificate.

As outlined in our supporting statement, whilst we do appreciate that the installation will be visible, on balance we believe that the numerous social and economic benefits of providing continuous, and improved (in the form of 5G), coverage to the surrounding area, for two Operators, outweighs any visual impact associated with the proposal, and should therefore receive Council support.

It should also be noted that the telecommunications industry is expecting the Government to update planning regulations imminently which we believe will increase Permitted Development rights, because of the increased reliance of the public on telecommunications networks and the changes in technology since the last revision (i.e. the national roll-out of the 5G network). It is expected that there will be greater rights for the installation of equipment on buildings and less restrictions in terms of what can be deployed.

Lastly, the shift in demand from city centres to urban/residential areas has been huge since a significant proportion of the country's workforce were displaced into working from home. The operators are working hard to meet the demand of network users. Given that London City has seen a significant drop in workers, and the out-lying boroughs (where usual commuters are often based) has seen a significant increase in working from home, the continued provision of network services is essential to not only everyday life, but also now to everyday working life. It is therefore considered that, on balance, the continued and enhanced network services which will be brought forward as part of this application, greatly outweigh any perceived visual impact that may be caused by the proposed development, and should therefore receive Council support.

MOD SAFEGUARDING - RAF NORTHOLT/MINISTRY OF DEFENCE:

This relates to an application to install a rooftop base station to accommodate 6 x antenna apertures, 4 x 600mm dishes, 9 x cabinets and associated ancillary equipment.

The application site falls within the Statutory Safeguarding Technical Zone surrounding RAF Northolt

I can confirm the MOD has no safeguarding objections to this proposal.

I trust this is clear however should you have any questions please do not hesitate to contact me.

Internal Consultees

None.

7. MAIN PLANNING ISSUES

7.01 The principle of the development

Policy DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020) states that telecommunication development will only be permitted where:

- i) it is sited and designed to minimise their visual impact;
- ii) it does not have a detrimental effect on the visual amenity, character or appearance of the building or the local area;
- iii) it has been demonstrated that there is no possibility for use of alternative sites, mast sharing and the use of existing buildings;
- iv) there is no adverse impact on areas of ecological interest, areas of landscape importance, archaeological sites, Conservation Areas or buildings of architectural or historic interest; and
- v) it includes a Declaration of Conformity with the International Commission on Non Ionizing Radiation.

Chapter 10 of the National Planning Policy Framework (2019) stresses the importance of advanced, high quality and reliable communications infrastructure and the role it plays in supporting sustainable economic growth. It goes on to advise that the aim should be to keep the numbers of radio and telecommunications masts and sites to a minimum, consistent with the efficient operation of the network and that existing masts and sites should be used unless there is a demonstrable need for a new site.

As mentioned above, this application proposes a rooftop telecommunication base station. The applicant has noted that an existing site at Brunel University is currently at risk of being lost beyond the operators' control therefore, a new site is required to prevent potential loss of service, in the event that the apparatus is to be removed. The aim of this application is to provide network coverage for EE UK Ltd and H3G UK Ltd. A cell search has indicated that a total of 15 site has been examined including the site selected.

It is noted that the sites that were discounted are due to the following reasons:

- Cowley Business Park (Streetworks) - planning application was refused by the Local Authority under planning ref: 74118/APP/2020/3119.
- Mast on Cowley Mill Road (Existing Streetworks) - not structurally capable of withstanding the replacement apparatus.
- Hillingdon Golf Club (Greenfield) - discounted on Radio Planning grounds as it would not provide the necessary coverage to the target area, as it is too far from the existing site.
- Turnpike Lane/Hillingdon (Streetworks) - discounted on Radio Planning grounds, as they would not provide the necessary coverage to the target area.
- Amberley Lane/Hillingdon (Streetworks) - discounted on Radio Planning grounds, as they would not provide the necessary coverage to the target area.
- Brunel Sports Fields (Greenfield) - discounted on Radio Planning grounds, as they would not provide the necessary coverage to the target area.
- A408, Cowley Road (Streetworks) - discounted on Radio Planning grounds, as they would not provide the necessary coverage to the target area.
- Buchan Close/A408 (Streetworks) - discounted on Radio Planning grounds, as they would not provide the necessary coverage to the target area.
- Land to the rear of Station Road (Streetworks) - discounted on Radio Planning grounds, as they would not provide the necessary coverage to the target area.
- Land south of Nursery Lane (Greenfield) - discounted on Radio Planning grounds, as they

would not provide the necessary coverage to the target area.

- Student Halls Complex (Rooftop) - this location do not satisfy radio planning requirements and a base station on the rooftops of these buildings would not provide the necessary coverage to the target area.

- Cleveland Road (Streetworks) - discounted on Radio Planning grounds, as it would not provide the necessary coverage to the target area and are within close proximity to front facing residential properties with characteristically narrow pavements, affording little prospect of supporting mast development.

- Brunel University Campus (Rooftop) - None of the surrounding buildings satisfy radio planning requirements to adequately replace the network coverage due to be lost from the existing site.

- High Street/Station Road (Streetwork) - discounted on Radio Planning grounds as it would not provide the necessary coverage to the target area and there are space restrictions on this road.

The applicant has emphasised that the site must be located within a short distance to the operation base station that will be replaced in order to replace the existing coverage pattern.

A signed Declaration of Conformity has been provided as part of this submission.

7.02 Density of the proposed development

Not applicable to this application.

7.03 Impact on archaeology/CAs/LBs or Areas of Special Character

The site is not located within an archaeology, conservation area or in an area of special character. However, the proposal is located directly across a row of listed buildings. Given the site's location and height, it is unlikely to impact on the listed buildings.

7.04 Airport safeguarding

Policy DMAV 1 of The Local Plan: Part 2 - Development Management Policies (2020) states that proposals that may be hazard to aircraft safety will not be permitted.

The site is located 2.9km away from RAF Northolt Aerodrome, therefore MOD Safeguarding - RAF Northolt was consulted. No objections were raised in regard the proposed development.

7.05 Impact on the green belt

Not applicable to this application.

7.07 Impact on the character & appearance of the area

Policy DMHB 11 of the The Local Plan: Part 2 - Development Management Policies (2020) states that A) All development, including extensions, alterations and new buildings will be required to be designed to the highest quality standards and, incorporate principles of good design including: i) harmonising with the local context by taking into account the surrounding scale of development, considering the height, mass and bulk of adjacent structures; building plot sizes and widths, plot coverage and established street patterns; building lines and setbacks, rooflines, streetscape rhythm, for example, gaps between structures and other streetscape elements, such as degree of enclosure; architectural composition and quality of detailing; local topography, views both from and to the site; and impact on neighbouring open spaces and their environment. ii) ensuring the use of high quality building materials and finishes; iii) ensuring that the internal design and layout of development maximises sustainability and is adaptable to different activities; iv) protecting features of positive value within and adjacent to the site, including the safeguarding of heritage assets, designated and un-designated, and their settings; and v) landscaping and

tree planting to protect and enhance amenity, biodiversity and green infrastructure. B) Development proposals should not adversely impact on the amenity, daylight and sunlight of adjacent properties and open space. C) Development will be required to ensure that the design safeguards the satisfactory re-development of any adjoining sites which have development potential. In the case of proposals for major development sites, the Council will expect developers to prepare master plans and design codes and to agree these with the Council before developing detailed designs.

Policy DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020) states that Telecommunication development will only be permitted where: i) it is sited and designed to minimise their visual impact; ii) it does not have a detrimental effect on the visual amenity, character or appearance of the building or the local area; iii) it has been demonstrated that there is no possibility for use of alternative sites, mast sharing and the use of existing buildings; iv) there is no adverse impact on areas of ecological interest, areas of landscape importance, archaeological sites, Conservation Areas or buildings of architectural or historic interest; and v) it includes a Declaration of Conformity with the International Commission on Non Ionizing Radiation.

The proposed new telecommunication base station will be installed on the east and west side of the rooftop. The equipment will be installed at roof level and will be visible from the top of parapet at 13.65 metres of the building. It is noted that a small part of the building's roof has a roof level of 14.8 metres, however, it is not apparent from the front elevations, as it is located to the central rear of the site. The proposed development will result in the increase of the overall height of the development to 19.25 metres, measured at the top of the propose apertures. This equates to a 40% increase in height from the parapet (30% increase from the highest point of the existing roof level).

The overall height of the building will result in an utilitarian development well beyond the height of the existing residential skyline, that consists generally of 3 storeys with loft space high residential dwellings and a 4 storey high apartment block. As such, the proposed development will have a detrimental impact on the the openness, visual amenity, character and appearance of the street scene, building and the area in general. There is currently no structure or building of this size and height. When compared to the adjacent residential dwellings, the rooftop telecommunication base station will appear unduly dominant and intrusive.

When viewed from Hillingdon Road, the installation will be highly visible to road users and this will be exacerbated when entering into St. Andrew's Park estate via Churchill Road, the main entrance.

Whilst it is understood that the purpose of rooftop base station is to ensure no telecommunication services are lost and to replace the Brunel University site, the proposal will have a significant negative impact on the high density residential area, visual amenity of adjacent residents and to the area in general. It would severely harm the character and appearance of the street scene of the residential estate. As such, the proposal is contrary to Policy BE1 of The Local Plan: Part 1 - Strategic Policies (2012) and Policies DMHB 11 and DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020).

7.08 Impact on neighbours

Policy DMHB 11 of The Local Plan: Part 2 - Development Management Policies (2020) seeks to ensure that developments do not adversely impact on the amenity of adjacent properties, and seeks to protect outlook for residents, defined as the visual amenity enjoyed by occupants when looking out of their windows.

The nearest neighbours are residential flats of Spitfire House, residing directly below the rooftop. The adjacent residents along Churchill Road is 14.4 metres away from the application site, therefore, the part of the equipment installation located on the east side of the rooftop would be highly visible. The front habitable rooms to no. 6-12 Churchill Road will have a direct line of sight to the apparatus.

Residents on Lacey Grove is 42 metres away. Although there is existing landscaping to the north of the site, given the height of the installation and the topography of the terraces on Lacey Grove, the installation will also be visible.

A majority of the equipment will be installed on the west side of the rooftop, therefore when viewed from Hillingdon Road, the site will appear very prominent to road users and to the row of listed buildings.

Based on the design and location of the equipment, both, the rooftop and the ground level cabinet would be unlikely to severely impact on daylight/sunlight or overshadowing. However, it will impact on adjoining neighbours outlook. Due to its proximity, size and overall height of the equipment, the proposal would be highly visible and intrusive to the immediate adjacent residents and surrounding area in general. As such, the proposal would severely impact the outlook of the existing residents and therefore fails to accord with Policy DMHB 11 of The Local Plan: Part 2 - Development Management Policies (2020).

7.09 Living conditions for future occupiers

Not applicable to this application.

7.10 Traffic impact, Car/cycle parking, pedestrian safety

The application site is located on a private property mainly on the rooftop and the cabinet located on the ground is not located on public highway. As such, the proposal is unlikely to impact on traffic, car/cycle or pedestrian safety.

7.11 Urban design, access and security

Refer to "Impact on the character & appearance of the area".

7.12 Disabled access

The equipment is located mainly on the rooftop while one cabinet is located at ground level. As the cabinet at ground level is located to the side of the building, it is unlikely to impact on disable access.

7.13 Provision of affordable & special needs housing

Not applicable to this application.

7.14 Trees, landscaping and Ecology

The scheme will not impact on the trees within the surrounding area as this is a rooftop installation and the ground cabinet is to be installed on existing paving.

7.15 Sustainable waste management

Not applicable to this application.

7.16 Renewable energy / Sustainability

Not applicable to this application.

7.17 Flooding or Drainage Issues

Not applicable to this application.

7.18 Noise or Air Quality Issues

Not applicable to this application.

7.19 Comments on Public Consultations

Refer to "External Consultees"

7.20 Planning obligations

Not applicable to this application.

7.21 Expediency of enforcement action

Not applicable to this application.

7.22 Other Issues

Health:

In terms of potential health concerns, the applicant has confirmed that the proposed installation complies with the ICNIRP (International Commissions for Non Ionising Radiation Protection) guidelines. Accordingly, in terms of Government policy advice, there is not considered to be any direct health impact. Therefore, further detailed technical information about the proposed installation is not considered relevant to the Council's determination of this application.

8. Observations of the Borough Solicitor

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected

characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

9. Observations of the Director of Finance

Not applicable to this application.

10. CONCLUSION

The application seeks planning permission for a rooftop base station to accommodate 6 antenna apertures, 4 600mm dishes, 9 cabinets and associated ancillary development thereto.

The siting of the proposal would result in an unacceptable impact on visual amenity particularly to the adjacent residential dwellings, and the character and appearance of the area. Therefore, it is contrary to Policy BE1 of The Local Plan: Part 1 - Strategic Policies (2012) and Policies DMHB 11 and DMHB 21 of The Local Plan: Part 2 - Development Management Policies (2020).

This application is therefore recommended for Refusal.

11. Reference Documents

The Local Plan: Part 1 - Strategic Policies (2012)

The Local Plan: Part 2 - Development Management Policies (2020)

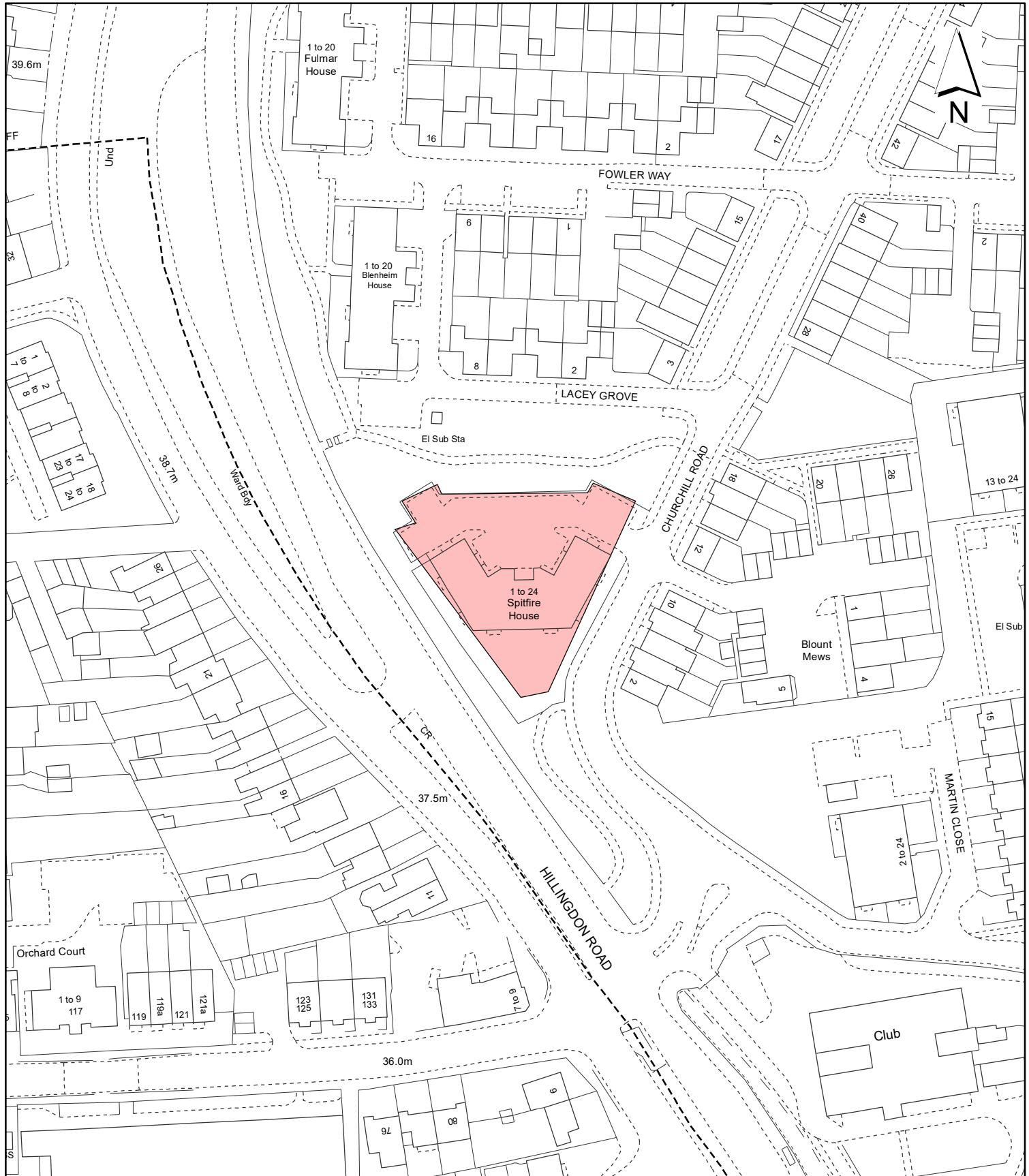
The London Plan - Consolidated With Alterations (2016)

National Planning Policy Framework (2019)

Publication London Plan December 2020

Contact Officer: Rebecca Lo

Telephone No: 01895 250230



Notes:

 Site boundary

For identification purposes only.

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Site Address:

**Spitfire House
Churchill Road**

**LONDON BOROUGH
OF HILLINGDON**
Residents Services
Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: 01895 250111

Planning Application Ref:

585/APP/2020/3892

Scale:

1:1,250

Planning Committee:

Central & South 36

Date:

February 2021



HILLINGDON
LONDON

Report of the Head of Planning, Transportation and Regeneration

Address: 56B WOOD END GREEN ROAD HAYES MIDDLESEX

Development: Erection of two rear dormer windows and 3 front rooflights following full removal of existing unlawful dormer window

LBH Ref Nos: 54624/APP/2020/4303

Drawing Nos: 01 Rev. A
05 Rev. A
04 Rev. A
02 Rev. A (Received 18-01-2021)
03 Rev. A (Received 18-01-2021)

Date Plans Received: 27/12/2020 **Date(s) of Amendment(s):** 29/12/2020

Date Application Valid: 27/12/2020

1. CONSIDERATIONS

1.1 Site and Locality

The application relates to a two storey, semi-detached dwelling house located on North of Wood End Green Lane. The brick and tile dwelling is set back from the road by 7 metres of hard and soft landscaping. The property does not benefit from any off street parking. To the rear of the property, lies a garden area which acts as private amenity space for the occupiers of the dwelling.

The site lies on a prominent corner plot at the junction of Wood End Green Road and Albion Road. The application property is attached to No.56A Wood End Green Road to the East. To the rear of the property lies the side boundary of No.2 Albion Road.

The area is residential in character and appearance. The site lies within Hayes Village Conservation Area and Air Quality Management Area.

1.2 Proposed Scheme

This application seeks planning permission for the erection of two rear dormer windows and 3 front rooflights following full removal of the existing unlawful dormer window.

The rear dormer windows have a width of 2.24m, a height of 1.73m and a depth of 3.19m each. One dormer window serves the bathroom and one serves a loft bedroom.

1.3 Relevant Planning History

54624/APP/2018/2940 56b Wood End Green Road Hayes Middlesex

Conversion of roofspace to habitable use to include a dormer to rear and 2 x front rooflights (Retrospective)

Decision Date: 09-11-2018 **Refused** **Appeal:** 01-MAY-19 **Dismissed**

54624/APP/2019/3983

56b Wood End Green Road Hayes Middlesex

Erection of a rear dormer window and 3 front rooflights following full removal of the existing unlawful dormer window

Decision Date: 04-03-2020 Refused

Appeal: 20-OCT-20 Dismissed

Comment on Planning History

A planning application under planning reference 54624/APP/2018/2940 was refused on 09-11-18 for the conversion of roofspace to habitable use to include a dormer to rear and 2 front rooflights (Retrospective). This application was taken to appeal and was dismissed on 01-5-19.

A planning application under planning reference 54624/APP/2019/3983 was refused on 05-03-20 for the erection of a rear dormer window and 3 front rooflights following full removal of the existing unlawful dormer window. This application was taken to appeal and was dismissed on 20-10-20 for the following reasons:

1. Whilst the proposed roof extension would be below the ridge line, above the eaves and set in from the sides of the roof, it would still appear to dominate it. The site's location on a corner plot means that it would still be prominent from views from Albion Road when approaching the junction with Wood End Green Road and from the latter when travelling into the CA along Wood Green Road. Both the appearance of the building and immediate street scene would be harmed.
2. Given the small scale of the development, within the context of the CA as a whole, it would not harm its character. There would however be harm in terms of its appearance. The harm would be localised, limited and less than substantial but would nevertheless be contrary to policies BE1 and HE1 of the London Borough of Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and policies DMHB 1, DMHB 4 and DMHB 11 of the LP, Policy 7.8 of the London Plan (March 2016) and the National Planning Policy Framework which require development to make a positive contribution to, and enhance the character and appearance of, an area.

2. Advertisement and Site Notice

2.1 Advertisement Expiry Date:- 10th February 2021

2.2 Site Notice Expiry Date:- Not applicable

3. Comments on Public Consultations

A site notice was displayed and expires on 2-2-21. A total of three neighbouring owner/occupier and Hayes Village Conservation Panel was consulted. No comments were received by the public at the time this report was written.

HAYES CONSERVATION AREA ADVISORY PANEL:

I am writing on behalf of Hayes Conservation Area Advisory Panel. Although the total volume of the proposed dormers is less than that of the existing (illegal) one, the layout on the roof gives a similar impression from the street. Had the internal layout of the roof conversion been completely re-designed then an acceptable compromise might have been possible. However, the current application is not acceptable for the reasons we have previously given, so we expect it to be refused.

CONSERVATION AND URBAN DESIGN OFFICER:

Summary of comments: Objection

Historic Environment Designation (s) - Hayes Village Conservation Area

Assessment - Background/ Significance

The existing building is a modern dwelling, located along the western boundary of the Hayes Village Conservation Area. The property dates from the second half of the 20th century. It is a semi-detached property positioned on a highly exposed corner plot at the junction of Wood End Green Road and Albion Road. This allows for clear views of the property's external elevations. The building is simply characterised and of its time, with club hung tiles to the front. The rest of the building is finished in exposed red brick. The roof is gable ended and had originally been finished in a pantile concrete roof tile, this is still extant to the attached property. The entrance door is highlighted by a flat hooded porch which No 56B has previously enclosed. As existing an unauthorised substantial box dormer has been added to the rear roof slope.

The building forms part of the western gateway into the conservation area as identified within the conservation area appraisal. The roofscape within the conservation area is notably unaltered with a very small number of properties benefiting from any form of a dormer at roof level.

An Enforcement Notice was issued following the refusal of the July 2018 retrospective application requiring the removal of the rear dormer and front roof lights. The Notice was upheld at Appeal. Following this another retrospective application was submitted (December 2019) and subsequently refused due to the impact on the conservation area. It is understood this has also beenAppealed.

Assessment - Impact

The proposed development would remove the existing dormer and replace it with two box dormer structures. The development would still significantly change what was an unaltered roofscape.

Whilst the two individual dormers would reduce the volume of structure at roof level to some degree, they would still appear to be bulky, over dominant elements. In general, the proposal would essentially remove the central portion of the existing dormer. There are concerns that the dormers would fail to appear as secondary features on the roof. The amended proposal would not adequately address the previous issues in terms of scale, bulk, appearance and dominance.

The roof tiles have also been poorly altered. The use of the Redland 49 roof tiles fail to match the previous pantile roof tiles as existing on the attached property. Furthermore the addition of the central ridge tiles adds fuss to a simple roof line. Interlocking concrete pantile roof tiles are available on the market the use of the interlocking cambered tile has dramatically and detrimentally altered the appearance of the property and its former quiet contribution to the conservation area.

The dormers would be considered harmful to the character and appearance of the conservation area. Harm in this instance would be less than substantial, paragraph 196 of the National Planning Policy Framework (NPPF, 2019) would be relevant in this instance.

There would be significant concerns in terms of setting an unwelcome precedent for similar developments within the conservation area, which incrementally could result in a further extent of harm to the overall character and appearance of the conservation area. The decision maker would also need to consider duties under section 72 of the Planning (Listed Building and Conservation Areas) Act 1990, in relation to the preservation and/or enhancement of the conservation area.

Conclusion: Objection - less than substantial harm

4. Local Plan Designation and London Plan

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

PT1.HE1 (2012) Heritage

Part 2 Policies:

DMHB 1 Heritage Assets

DMHB 4 Conservation Areas

DMHB 11 Design of New Development

DMHD 1 Alterations and Extensions to Residential Dwellings

LPP 3.5 (2016) Quality and design of housing developments

LPP 7.8 (2016) Heritage assets and archaeology

NPPF- 16 NPPF-16 2018 - Conserving & enhancing the historic environment

5. MAIN PLANNING ISSUES

The main issues for consideration in determining this application are the effect of the development on the character and appearance of the residential area, the impact on residential amenity and Conservation area, and whether the proposed works satisfies the issues raised by the Inspector from the Appeal Decision dated 1/5/19 and 20/20/2021.

Design and Impact on the Character and Appearance of the Conservation Area

Policy BE1 of The Local Plan: Part 1 - Strategic Policies (2012) requires all new development to improve and maintain the quality of the built environment in order to create successful and sustainable neighbourhoods, where people enjoy living and working and that serve the long-term needs of all residents.

Policy DMHB 4 of The Hillingdon Local Plan: Part Two - Development Management Policies (2020), states that new development, including alterations and extensions to existing buildings, within a Conservation Area or on its fringes, will be expected to preserve or enhance the character or appearance of the area. It should sustain and enhance its significance and make a positive contribution to local character and distinctiveness. In order to achieve this, the Council will: A) Require proposals for new development to be of a high quality contextual design. Proposals should exploit opportunities to introduce new ones that would enhance the character and appearance of the Conservation Area. B)

Resist the loss of buildings, historic street patterns, important views, landscape and open spaces or other features that make a positive contribution to the character or appearance of the Conservation Area; any such loss will need to be supported with a robust justification.

Policy DMHB 11 of The Local Plan: Part 2 - Development Management Policies (2020) states that A) All development, including extensions, alterations and new buildings will be required to be designed to the highest quality standards and, incorporate principles of good design including: harmonising with the local context by taking into account the surrounding scale of development, considering the height, mass and bulk of adjacent structures; building plot sizes and widths, plot coverage and established street patterns; building lines and setbacks, rooflines, streetscape rhythm; protecting features of positive value within and adjacent to the site, including the safeguarding of heritage assets, designated and un-designated, and their settings.

Policy DMHD 1 of The Local Plan: Part 2 - Development Management Policies (2020) states that A) Planning applications relating to alterations and extensions of dwellings will be required to ensure that: i) there is no adverse cumulative impact of the proposal on the character, appearance or quality of the existing street or wider area; ii) a satisfactory relationship with adjacent dwellings is achieved; iii) new extensions appear subordinate to the main dwelling in their floor area, width, depth and height; iv) new extensions respect the design of the original house and be of matching materials; ix) all extensions in Conservation Areas and Areas of Special Local Character, and to Listed and Locally Listed Buildings, are designed in keeping with the original house, in terms of layout, scale, proportions, roof form, window pattern, detailed design and materials. E) Roof Extensions i) roof extensions should be located on the rear elevation only, be subservient to the scale of the existing roof and should not exceed more than two thirds the average width of the original roof. They should be located below the ridge tiles of the existing roof and retain a substantial element of the original roof slope above the eaves line; ii) the Council will not support poorly designed or over-large roof extensions; iv) all roof extensions should employ appropriate external materials and architectural details to match the existing dwelling; and v) in Conservation Areas, Areas of Special Local Character and on Listed and Locally Listed Buildings, roof extensions should take the form of traditional 'dormer' windows, on the rear elevation, to harmonise with the existing building. The highest point of the dormer should be kept well within the back roof slope, away from the ridge, eaves or valleys, whilst each window should match the proportions, size and glazing pattern of the first floor windows.

The site is located in a visually prominent position at the junction of Albion Road and Wood End Green Road and is within Hayes Village Conservation Area. The applicant proposes two large rear dormer windows, and each, is measured at 2.24m (w) x 1.73m (h) x 3.19m (d) in size. This scheme differs from the previously refused scheme which was recently dismissed at appeal dated 19 October 2020. The Inspector in dismissing the appeal commented as follows:

"1. Whilst the proposed roof extension would be below the ridge line, above the eaves and set in from the sides of the roof, it would still appear to dominate it. The site's location on a corner plot means that it would still be prominent from views from Albion Road when approaching the junction with Wood End Green Road and from the latter when travelling into the CA along Wood Green Road. Both the appearance of the building and immediate street scene would be harmed.

2. Given the small scale of the development, within the context of the CA as a whole, it would not harm its character. There would however be harm in terms of its appearance. The harm would be localised, limited and less than substantial but would nevertheless be contrary to policies BE1 and HE1 of the London Borough of Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and policies DMHB 1, DMHB 4 and DMHB 11 of the LP, Policy 7.8 of the London Plan (March 2016) and the National Planning Policy Framework which require development to make a positive contribution to, and enhance the character and appearance of, an area.

3. Any harm to the significance of a heritage asset requires justification in accordance with paragraph 196 of the National Planning Policy Framework. There are no public benefits that would weigh against the harm to the appearance of the CA."

Although the original dormer has now reduced to two slightly smaller dormer windows, this development would appear as an over dominant addition to the roof which is highly visible along Wood End Green Road and Albion Road. The dormer windows would appear bulky and oversize and therefore would fail to appear as a secondary feature to the roof. The width, height and overall scale of the rear window dormer would not relate well to the existing house. The appearance of the additions will harm the appearance of the building and immediate street scene of the Conservation Area.

The Council's Conservation and Urban Design officer has assessed this application and raised objection to the proposal. The amended proposal would not adequately address the previous issues in terms of scale, bulk, appearance and dominance and there are concerns in the choice of materials. The harm of the development would be considered less than substantial and would be harmful to the character and appearance of the conservation area. The officer raised concerns that the proposal would set an unwelcome precedent for future application within the conservation area.

Given the above, the proposal is contrary to DMHD 1, DMHB 4, DMHB 11 of The Local Plan: Part 2 - Development Management Policies (2020).

Impact on Neighbouring Amenity

Policy DMHB 11 of The Local Plan: Part 2 - Development Management Policies (2020) states that development proposals should not adversely impact on the amenity, daylight and sunlight of adjacent properties and open space.

The proposed rooflight is to the front elevation of the dwelling. At appeal, dated May 2019, the inspector noted that the "positioning of the rooflights on the front elevation of the property pay no regard to the scale and position of the windows in the main house and therefore detract from the appearance of the host property."

The proposed rooflight is now positioned in line with the first floor windows which appears more structured than previous. It should be noted that the front elevation of the dwelling fronts onto the highway then onto a green open space, as such, there would unlikely be impact to the neighbouring amenity.

The rear dormer windows faces directly onto the side elevation of no. 2 Albion Road with no direct line of sight into the neighbour's habitable rooms. Although it is measured 8.8m away to the nearest neighbouring dwelling, the proposal would be unlikely to cause overlooking or impact on daylight/sunlight.

Conclusion

In conclusion, the proposed rear dormer windows, by reason of their siting in this open prominent position, and size, scale, bulk and design would fail to harmonise with the architectural composition of the original dwelling, would be detrimental to the character, appearance and visual amenities of the street scene and would fail to either preserve or enhance the character or appearance of the surrounding Hayes Village Conservation Area. The proposal is therefore contrary to Policies BE1 and HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies DMHB 1, DMHB 4 and DMHB 11 of the Hillingdon Local Plan Part Two - Development Management Policies (March 2019) Policy 7.8 of the London Plan (2016) and the NPPF.

The application is recommended for refusal.

6. RECOMMENDATION

REFUSAL for the following reasons:

1 NON2 Non Standard reason for refusal

The rear dormer windows, by reason of their siting in this open prominent position, size, scale, bulk and design would fail to harmonise with the architectural composition of the original dwelling, would be detrimental to the character, appearance and visual amenities of the street scene and would fail to either preserve or enhance the character or appearance of the surrounding Hayes Village Conservation Area. The proposal is therefore contrary to Policies BE1 and HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies DMHB 1, DMHB 4, DMHB 11 and DMHB 12 of the Hillingdon Local Plan Part Two - Development Management Policies (March 2019), Policy 7.8 of the London Plan (2016) and the NPPF.

INFORMATIVES

- 1 In dealing with the application the Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies from The Local Plan: Part 2 - Development Management Policies (2020), Local Plan Part 1, Supplementary Planning Documents, Planning Briefs and other informal written guidance, as well as offering a full pre-application advice service.

We have however been unable to seek solutions to problems arising from the application as the principal of the proposal is clearly contrary to our statutory policies and negotiation could not overcome the reasons for refusal.

Standard Informatives

- 1 The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family

life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

Part 1 Policies:

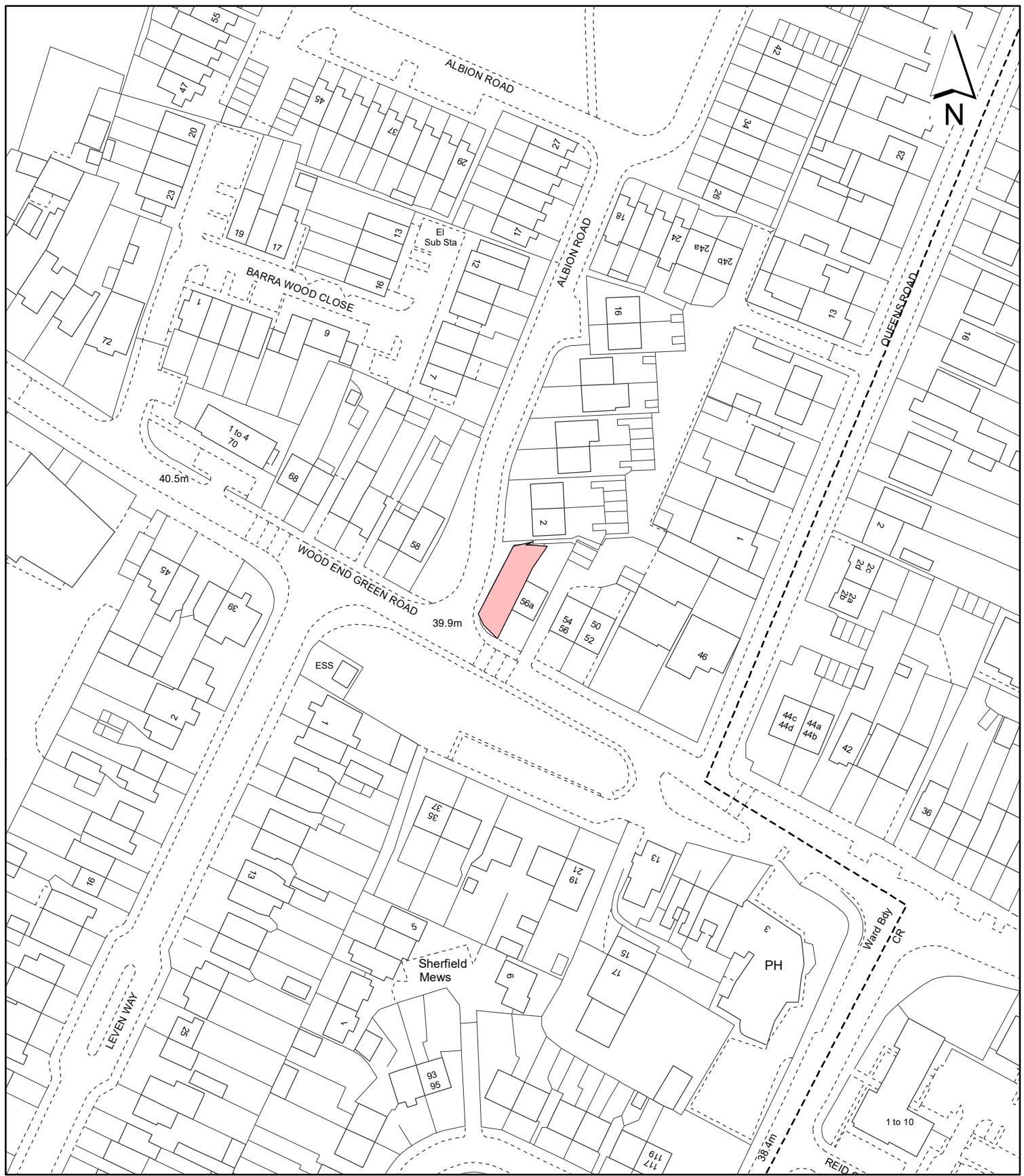
PT1.BE1 (2012) Built Environment
PT1.HE1 (2012) Heritage

Part 2 Policies:

DMHB 1 Heritage Assets
DMHB 4 Conservation Areas
DMHB 11 Design of New Development
DMHD 1 Alterations and Extensions to Residential Dwellings
LPP 3.5 (2016) Quality and design of housing developments
LPP 7.8 (2016) Heritage assets and archaeology
NPPF- 16 NPPF-16 2018 - Conserving & enhancing the historic environment

Contact Officer: Rebecca Lo

Telephone No: 01895 250230



Notes:

 Site boundary

For identification purposes only.

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Site Address:

**56B Wood End Green Road
Hayes**

**LONDON BOROUGH
OF HILLINGDON**
Residents Services
Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 01895 250111

Planning Application Ref:

54624/APP/2020/4303

Scale:

1:1,250

Planning Committee:

Central & South
Page 45

Date:

February 2021



HILLINGDON
LONDON

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Agenda Item 9

Report of the Head of Planning, Transportation and Regeneration

Address	HAYES PARK HAYES END ROAD HAYES
Development:	Internal office refurbishment of Hayes Park Central and South including removal of the non-original partitions, re-instatement of the South Building's reflecting pool and refurbished entrances. External elevation and roof refurbishment of both buildings including cleaning and repair works, replacement of non-original glazed double doors and other works to the South building's glazed curtain wall system (Application for Listed Building Consent)
LBH Ref Nos:	12853/APP/2020/2980
Drawing Nos:	Design and Access Statement HBP-ORM-ZZ-00-DR-A-12001 Rev. P03 HBP-ORM-ZZ-00-DR-A-12002 Rev. P03 HBP-ORM-ZZ-00-DR-A-12110 Rev. P01 HBP-ORM-ZZ-00-DR-A-12120 Rev. P01 HBP-ORM-ZZ-01-DR-A-12101 Rev. P03 HBP-ORM-ZZ-01-DR-A-12111 Rev. P01 HBP-ORM-ZZ-01-DR-A-12121 Rev. P01 HBP-ORM-ZZ-02-DR-A-12102 Rev. P03 HBP-ORM-ZZ-02-DR-A-12112 Rev. P01 HBP-ORM-ZZ-02-DR-A-12122 Rev. P01 HBP-ORM-ZZ-03-DR-A-12103 Rev. P03 HBP-ORM-ZZ-03-DR-A-12113 Rev. P01 HBP-ORM-ZZ-03-DR-A-12123 Rev. P01 HBP-ORM-ZZ-AA-DR-A-12300 Rev. P03 HBP-ORM-ZZ-AA-DR-A-12301 Rev. P01 HBP-ORM-ZZ-AA-DR-A-12302 Rev. P01 HBP-ORM-ZZ-B1-DR-A-12129 Rev. P01 HBP-ORM-ZZ-EA-DR-A-12504 Rev. P01 HBP-ORM-ZZ-EA-DR-A-12506 Rev. P01 HBP-ORM-ZZ-NO-DR-A-12505 Rev. P01 HBP-ORM-ZZ-SO-DR-A-12501 Rev. P03 HBP-ORM-ZZ-SO-DR-A-12502 Rev. P03 HBP-ORM-ZZ-03-DR-A-12223 Rev. P02 HBP-ORM-ZZ-AA-DR-A-12400 Rev. P03 HBP-ORM-ZZ-AA-DR-A-12401 Rev. P01 HBP-ORM-ZZ-AA-DR-A-12402 Rev. P01 HBP-ORM-ZZ-B1-DR-A-12229 Rev. P02 HBP-ORM-ZZ-EA-DR-A-12606 Rev. P01 HBP-ORM-ZZ-00-DR-A-12150 Rev. P03 HBP-ORM-ZZ-00-DR-A-12160 Rev. P01 HBP-ORM-ZZ-00-DR-A-12170 Rev. P01 HBP-ORM-ZZ-00-DR-A-12810 Rev. P02 HBP-ORM-ZZ-00-DR-A-12813 Rev. P02 HBP-ORM-ZZ-00-DR-A-12820 Rev. P03 HBP-ORM-ZZ-00-DR-A-12823 Rev. P03 HBP-ORM-ZZ-01-DR-A-12151 Rev. P03

HBP-ORM-ZZ-01-DR-A-12161 Rev. P01
HBP-ORM-ZZ-01-DR-A-12171 Rev. P01
HBP-ORM-ZZ-01-DR-A-12811 Rev. P02
HBP-ORM-ZZ-01-DR-A-12814 Rev. P02
HBP-ORM-ZZ-01-DR-A-12821 Rev. P03
HBP-ORM-ZZ-01-DR-A-12824 Rev. P03
HBP-ORM-ZZ-02-DR-A-12152 Rev. P03
HBP-ORM-ZZ-02-DR-A-12162 Rev. P01
HBP-ORM-ZZ-02-DR-A-12172 Rev. P01
HBP-ORM-ZZ-02-DR-A-12812 Rev. P02
HBP-ORM-ZZ-02-DR-A-12815 Rev. P02
HBP-ORM-ZZ-02-DR-A-12822 Rev. P03
HBP-ORM-ZZ-02-DR-A-12825 Rev. P03
HBP-ORM-ZZ-03-DR-A-12153 Rev. P03
HBP-ORM-ZZ-03-DR-A-12163 Rev. P01
HBP-ORM-ZZ-03-DR-A-12173 Rev. P01
HBP-ORM-ZZ-AA-DR-A-12350 Rev. P03
HBP-ORM-ZZ-AA-DR-A-12351 Rev. P01
HBP-ORM-ZZ-AA-DR-A-12352 Rev. P01
HBP-ORM-ZZ-B1-DR-A-12159 Rev. P03
HBP-ORM-ZZ-B1-DR-A-12169 Rev. P01
HBP-ORM-ZZ-B1-DR-A-12179 Rev. P01
HBP-ORM-ZZ-EA-DR-A-12554 Rev. P01
HBP-ORM-ZZ-EA-DR-A-12556 Rev. P01
HBP-ORM-ZZ-NO-DR-A-12550 Rev. P03
HBP-ORM-ZZ-NO-DR-A-12553 Rev. P01
HBP-ORM-ZZ-NO-DR-A-12555 Rev. P01
HBP-ORM-ZZ-SO-DR-A-12551 Rev. P03
HBP-ORM-ZZ-SO-DR-A-12552 Rev. P03
HBP-ORM-ZZ-ZZ-DR-A-12701 Rev. P03
HBP-ORM-ZZ-ZZ-DR-A-12702 Rev. P03
HBP-ORM-ZZ-ZZ-DR-A-12703 Rev. P03
HBP-ORM-ZZ-ZZ-DR-A-12704 Rev. P02
Cover Letter (Dated 17th September 2020)
HBP-ORM-ZZ-00-DR-A-12200 Rev. P06
HBP-ORM-ZZ-00-DR-A-12210 Rev. P05
HBP-ORM-ZZ-03-DR-A-12203 Rev. P04
HBP-ORM-ZZ-03-DR-A-12213 Rev. P03
HBP-ORM-ZZ-NO-DR-A-12600 Rev. P06
HBP-ORM-ZZ-NO-DR-A-12603 Rev. P04
HBP-ORM-ZZ-NO-DR-A-12605 Rev. P03
HBP-ORM-ZZ-SO-DR-A-12601 Rev. P06
HBP-ORM-ZZ-00-DR-A-12100 Rev. P05
HBP-ORM-ZZ-00-DR-A-12220 Rev. P04
HBP-ORM-ZZ-01-DR-A-12201 Rev. P05
HBP-ORM-ZZ-01-DR-A-12211 Rev. P04
HBP-ORM-ZZ-01-DR-A-12221 Rev. P04

HBP-ORM-ZZ-02-DR-A-12202 Rev. P05
HBP-ORM-ZZ-02-DR-A-12212 Rev. P04
HBP-ORM-ZZ-02-DR-A-12222 Rev. P04
Planning Response Statement 01 (Dated 19th November 2020)
HBP-ORM-ZZ-SO-DR-A-12602 Rev. P05
HBP-ORM-ZZ-ZZ-DR-A-12700 Rev. P05
Heritage Statement (Dated 17th September 2020)
HBP-ORM-ZZ-B1-DR-A-12119 Rev. P03
HBP-ORM-ZZ-B1-DR-A-12209 Rev. P05
HBP-ORM-ZZ-B1-DR-A-12219 Rev. P04
HBP-ORM-ZZ-EA-DR-A-12604 Rev. P02
HBP-ORM-ZZ-NO-DR-A-12500 Rev. P05
HBP-ORM-ZZ-NO-DR-A-12503 Rev. P03
HBP-ORM-ZZ-B1-DR-A-12109 Rev. P05

Date Plans Received: 18/09/2020

Date(s) of Amendment(s): 17/09/2020

Date Application Valid: 18/09/2020

1. CONSIDERATIONS

1.1 Site and Locality

The site forms part of the Hayes Park business park, a landscaped parkland setting, measuring approximately 5.22 hectares in size. The site comprises three office buildings including Hayes Park North, Hayes Park Central and Hayes Park South. Hayes Park Central and Hayes Park South form the focus of this application and are both Grade II* Listed buildings, purpose built back in 1965 as corporate and research laboratories for HJ Heinz UK by American Architect Gordon Bunshaft.

Each building is three storeys in height (including a basement and two storeys) and is served by a sunken 2 level car park. The site has access to a total of 576 car parking spaces, 23 disabled car parking spaces and cycle parking.

The site is designated as part of Green Belt land and an Air Quality Management Area.

1.2 Proposed Scheme

This application seeks Listed Building Consent for an internal office refurbishment of Hayes Park Central and South including removal of the non-original partitions, re-instatement of the South Building's reflecting pool and refurbished entrances. The external elevation and roof of both buildings are also to be refurbished, including cleaning and repair works, replacement of non-original glazed double doors and other works to the South building's glazed curtain wall system.

1.3 Relevant Planning History

12853/AA/97/0654 H.J.Heinz Co. Ltd, Hayes Park Hayes End Road Hayes

Installation of a temporary car park on part of existing parkland including a temporary footbridge

/pathway and associated fencing

Decision Date: 14-11-1997 **Approved:** **Appeal:**
12853/ADV/2001/48 Hayes Park Hayes End Road Hayes
DISPLAY OF NON-ILLUMINATED ENTRANCE AND DIRECTIONAL SIGNS

Decision Date: 01-05-2001 **Approved:** **Appeal:**
12853/APP/2000/1904 Former H J Heinz, South Building, Hayes Park Offices Hayes |
INTERNAL PARTITION WORKS AND INSTALLATION OF 10 CONDENSER UNITS AND A
KITCHEN EXTRACT PIPE (APPLICATION FOR LISTED BUILDING CONSENT)

Decision Date: 20-09-2000 **Approved:** **Appeal:**
12853/APP/2000/675 Land At Hayes Park Hayes End Road Hayes
CREATION OF NEW VEHICULAR ACCESS TO HAYES PARK FROM PROPOSED
ROUNABOUT ON HAYES END ROAD, CLOSURE OF EXISTING ACCESS FROM HAYES
END ROAD AND ASSOCIATED LANDSCAPING, SIGNAGE AND LIGHTING

Decision Date: 06-07-2001 **Approved:** **Appeal:**
12853/APP/2001/1682 Hayes Park North Building Hayes End Road Hayes Middlesex
INSTALLATION OF EXTRACT DUCT AND SATELLITE DISH

Decision Date: 26-10-2001 **Approved:** **Appeal:**
12853/APP/2001/1683 Hayes Park North Building Hayes End Road Hayes Middlesex
INSTALLATION OF EXTERNAL DOORS TO EAST ELEVATION

Decision Date: 04-10-2001 **Approved:** **Appeal:**
12853/APP/2001/382 Hayes Park Central Building Hayes End Road Hayes Middlesex
INSTALLATION OF ROOF MOUNTED EXTRACT FANS AND EXTERNAL VENT

Decision Date: 01-05-2001 **Approved:** **Appeal:**
12853/APP/2001/384 Hayes Park Central Building Hayes End Road Hayes Middlesex
INTERNAL FITTING OUT, ROOF MOUNTED VENTS AND BELOW GROUND FUEL TANK
(APPLICATION FOR LISTED BUILDING CONSENT)

Decision Date: 01-05-2001 **Approved:** **Appeal:**
12853/APP/2002/367 Hayes Park South Building Hayes End Road Hayes Middlesex
INSTALLATION OF LOW RISE TURNSTILE TYPE SECURITY BARRIERS TO EXISTING
RECEPTION AREA (APPLICATION FOR LISTED BUILDING CONSENT)

Decision Date: 11-09-2002 **Approved:** **Appeal:**
12853/APP/2003/2530 Hayes Park Hayes End Road Hayes Middlesex
REPLACEMENT AND ERECTION OF 3 CLOSE CIRCUIT TELEVISION CAMERAS

Decision Date: 06-07-2004 **Approved:** **Appeal:**
12853/APP/2006/3060 Hayes Business Park Hayes End Road Hayes
REBUILDING OF LISTED BOUNDARY WALL (TO THE REAR AND SIDE OF UNITED BISCUIT

BUILDING) (APPLICATION FOR LISTED BUILDING CONSENT)

Decision Date:	Approved	Appeal:
12853/APP/2009/509	Hayes Business Park Hayes End Road Hayes	Alterations and repair to boundary wall, to include demolition.
Decision Date: 26-10-2009	Approved	Appeal:
12853/APP/2009/510	Hayes Business Park Hayes End Road Hayes	Alterations and repair to boundary wall, to include demolition (Application for Listed Building Consent).
Decision Date: 26-10-2009	Approved	Appeal:
12853/APP/2010/2186	H.J.Heinz Co. Ltd, Hayes Park Hayes End Road Hayes	Internal alterations to include overpanel to doors, new access door, replacement fire door and replacement skirting to the reception area (Application for Listed Building Consent.)
Decision Date: 15-11-2010	Approved	Appeal:
12853/APP/2010/277	H.J.Heinz Co. Ltd, Hayes Park Hayes End Road Hayes	Internal alterations to existing staircases and alterations to front entrance (Listed Building Consent)
Decision Date: 27-04-2010	Approved	Appeal:
12853/APP/2011/1946	H.J. Heinz Co. Ltd, Hayes Park Hayes End Road Hayes	Installation of new cycle shelter.
Decision Date: 02-03-2012	Approved	Appeal:
12853/W/96/1667	H.J.Heinz Co. Ltd, Hayes Park Hayes End Road Hayes	Refurbishment of existing administration and research buildings for office use, the erection of a new office building and decked car park (involving the demolition of Field House and garden walls), realignment of internal road and provision of car parking and landscaping to individual buildings
Decision Date: 10-08-1998	Approved	Appeal:
12853/X/96/1670	H.J.Heinz Co. Ltd, Hayes Park Hayes End Road Hayes	External and internal alterations to administration and research buildings and demolition of a former market garden wall (Application for Listed Building Consent)
Decision Date: 10-08-1998	Approved	Appeal:
12853/Y/97/0651	H.J.Heinz Co. Ltd, Hayes Park Hayes End Road Hayes	Demolition and reinstatement of part of a pre-1948 garden wall (Application for Listed Building Consent)
Decision Date: 18-11-1997	Approved	Appeal:
Comment on Planning History		
None.		
2.	Advertisement and Site Notice	

2.1 Advertisement Expiry Date:- 20th October 2020

2.2 Site Notice Expiry Date:- Not applicable

3. Comments on Public Consultations

Letters were sent to neighbouring properties and an advert was posted in the local paper. All forms of consultation expired on 28th October 2020. No comments have been received from neighbouring properties.

EXTERNAL CONSULTATION

HISTORIC ENGLAND:

Thank you for your letter of 25 September 2020 regarding the above application for listed building consent. On the basis of the information available to date, we do not wish to offer any comments. We suggest that this application should be determined in accordance with national and local policy guidance and that you seek the views of your specialist conservation adviser.

We have drafted the necessary letter of authorisation (attached) for your authority to determine the application as you see fit and referred the case to the National Planning Casework Unit (NPCU). You will be able to issue a formal decision once NPCU have returned the letter of authorisation to you, unless the Secretary of State directs the application to be referred to them.

It is not necessary for us to be consulted on this application again, unless there are material changes to the proposals. However, if you would like detailed advice from us, please contact us to explain your request.

Please note that this response relates to designated heritage assets only. If the proposals meet the Greater London Archaeological Advisory Service's published consultation criteria we recommend that you seek their view as specialist archaeological adviser to the local planning authority.

The full GLAAS consultation criteria are on our webpage at the following link:

<https://www.historicengland.org.uk/services-skills/our-planning-services/greater-london-archaeology-advisory-service/our-advice/>

INTERNAL CONSULTATION

CONSERVATION OFFICER (Dated 4th November 2020):

Historic Environment Designation (s)

- Grade II* Listed Buildings, Former Heinz Administrative Buildings and Former Research Laboratories, Hayes Park (List Entry No. 1242724)

Assessment - background/significance

The existing office buildings were commissioned by HJ Heinz II, grandson of the

company's founder in the 1950s. The building was designed by Gordon Bunshaft and is the only example of his work in the UK. They were designed as the company's headquarters set within an open landscape on a Greenfield site. Unfortunately, the development of the new office building to the north of the heritage assets has somewhat degraded its original setting.

The setting of the 20th century buildings is defined by the principles of an English country house, comprising of restored open parkland and historic brick walls. It is a poetic combination of modern American design within a historic English landscape.

Whilst of lesser importance the interior of the buildings does form part of the listed building therefore alterations would need to be carefully considered and respect the special interest of the building.

The buildings are of a Brutalist style, constructed of a reinforced concrete frame. The glazed elevations are recessed under the projecting roof and floor slabs. The external appearance of the building is defined by the projecting frame which is made up of columns split into two tapered sections. They are pre-cast with a granite aggregate finish. Both buildings are three storeys in height and rectangular in plan, contributing to their simple block forms. The buildings were designed to be integrated within the surrounding landscape. They were sunk into the ground with earth built up around the ground floor elevations up to clerestory height except for the areas around the entrances to the buildings. Overtime the original cutbacks allowing access and egress from the buildings have been altered and widened. Internally both buildings include dropped ceilings and non-original floor and internal wall finishes.

The North building is the smaller of the two and had been used as the former Research Laboratories for Heinz. The building is six by five bays in plan with its main access located to the north. Internally it has been somewhat altered with a central core inserted formalising the arrangement of the building. Considering the nature of the building it is highly likely the original floor plan was subdivided into multiple spaces for various uses. Rather disappointingly this has also been lost overtime resulting in the open plan appearance we see today.

The South building formed the Administrative headquarters for Heinz. It is six by 9 bays in plan with an open internal courtyard space which once included a reflecting pool (currently in-filled with pebbles). The main entrance is located along the eastern elevation and highlighted by the curved retaining walls exposing the ground floor of the building. Originally this had been much more subtle in appearance with only an opening one bay in length and a double door reveal. The alteration has allowed for a larger glazed reception lobby area. Notably it has retained views through the building across the courtyard and former canteen space through to the landscape beyond at ground floor. This is an important view through and would need to be appropriately preserved.

The internal arrangements of the building including the circulation cores have been altered overtime with the cores enlarged and consolidated. The ground floor has always benefitted from subdivisions and originally comprised of a series of utilitarian spaces, including; toilets, plant rooms, kitchen, mailrooms etc. The western section of the building has consistently been used as the canteen area.

Along the northern elevation there is a tunnelled passage which connects the North and South buildings however it is understood that access has now been blocked.

Hayes Park relates to an earlier house which had been used a private asylum during the 19th century. It comprised of a substantial 2 storey house set within extensive grounds which included a walled garden to the north of the main house. Some remnants of the walled garden and other historic walls are evident today. Home Farm located to the west of the site most likely, originally formed part of the wider estate associated to Hayes Park. In 1959 HJ Heinz Ltd bought the house and grounds resulting in the subsequent demolition of the original house for the office buildings we see today.

Site visit

9th October 2019 - part of the pre-application process. Considering the current pandemic, a further site visit is not required in this instance as the works have not fundamentally changed from those proposed at pre-application stage.

Assessment - impact

Both buildings

- Demolition of internal partitions - It is evident these are non-original subdivisions therefore such loss would not harm the significance of the Listed Building in this instance. No objection.
- Existing concrete - Further information would be required in relation to cleaning the existing concrete finish. A methodology statement clearly stating the method of cleaning to be used would be required. A cleaning test patch would need to be carried out, in a discreet location. This shall be covered by way of a condition
- Facade glazing - The Design and Access statement refers to a 'clad tech facade report' however this does not appear to have been submitted. No objections to the cleaning and re-spraying of the existing glazing, confirmation would be required in relation to how the facade shall be cleaned. This shall be covered by way of a condition.
- Reinstatement of decorative, granite aggregate finish to external columns - There are no objections to the loss of the existing white rendered finishes. The principle of the proposal will enhance the appearance of the building however, further information would be required in relation to the reinstated granite aggregate finish including details of the mix and texture. An inspection of the trial (test patch) would need to be carried out by the Local Planning Authority Conservation Officer and approved in writing. The test patch trial would need to be carried out in a discreet location and the extent kept to a minimum. This shall be covered by way of a condition.
- External staircases - No objections to the proposed cleaning and refurbishment of the external staircase. The paint finish shall match that of the existing. This shall be appropriately conditioned.
- Internal insulation to facade - (Dwg No. 12700 Rev P03) - There are no objections to the replacement of the internal insulation panels above and below the curtain wall glazing, as proposed.
- Roller blind box (internal) - ((Dwg No. 12700 Rev P03) - The inclusion of roller blinds is far from ideal as the intent of the building's glazed facade was to connect it to its surrounding landscape. Furthermore, it would detract from the design intent of an 'illuminated glass box' within a concrete frame, particularly effective at night. This would result in harm and how the building is experienced internally and externally within its setting. As the works would be reversible and the use of the roller blinds would be subjective a compromise can be made.
- Existing soffit - (Dwg No. 12700 Rev P03) - The existing soffits and downlights do not appear to be original therefore the refurbishment and removal of the down lighter would be deemed acceptable.

- Existing soffit - (Dwg No. 12700 Rev P03) - The submitted detail has incorrectly numbered the provision of insulation within the soffit as described under Note 7 on the drawing referenced above. This should be amended to ensure the drawings are accurate.
- External uplighters - (Dwg No. 12700 Rev P03) - The provision of external lighting via new LED up lights would be deemed admissible. It is understood they are to run around the perimeter of the building, along all floors. It would be useful to have this detailed on a 'typical' plan for each building, allowing the application of lighting to be included in the list of plans on the decision notice.
- Projecting external floor slabs - (Dwg No. 12700 Rev P03) - The replacement of the existing gravel/ ballast, drainage outlet and pipework, latch-way fall restraint and associated waterproofing would be deemed admissible. Details of the new walkway material finish would need to be confirmed however, this information shall be covered by way of a condition.
- Internal raised floor - (Dwg No. 12700 Rev P03) - No objections to new raised floor
- Roof insulation and waterproofing systems - (Dwg Nos. 12213 Rev P02, 12223 Rev P02 and 12700 Rev P03) - No objection to the removal of existing insulation and waterproofing system however, further details of replacement system and tapered layout would be required following confirmation of drainage provision. Details of the material finish would also need to be submitted. This shall be covered by way of a condition.
- Capping - (Dwg No. 12700 Rev P03) - No objection to the replacement of the existing capping with a new black capping to reinstate the original roof detail. However, detail of the capping product would need to be submitted prior to installation. This shall be covered by way of a condition.
- Stairwells - (Dwg No. 12704 Rev P02) - Details of the proposed new floor finishes within the existing stairwells would need to be submitted. This shall be covered by way of a condition.
- Internal partitions - There would be no objections to the proposed internal solid partitions, glazed screens and doors.
- Structural openings between floors - From the submitted information only one new structural opening is proposed within the Central building with existing risers re-used. Nevertheless, details of the proposed new structural openings between floors or alterations to the existing service risers would need to be confirmed prior to works taking place. Details would need to accurately indicate its location, the size of the opening and any further structural interventions required. This shall be covered by way of a condition.

South Building (former Administration building)

- Plant room staircase - Basement (Dwg No. 12219 Rev P02 and 12210 Rev P02) - Whilst the proposed new/ relocated staircase within the plant room would result in the loss of built fabric, considering the de minimis nature of the works it would be deemed admissible, on this occasion.
- Circulation cores - All floors - The existing cores have been previously adapted therefore the proposed alterations would be deemed admissible.
- Western core - All floors - The creation of a new western core, providing access from the ground floor lobby area to the first and second floor office spaces via the existing stairwell and lifts - No objection
- Internal columns - All floors - The floorplans show some internal columns missing sections, where removed internal partitions are proposed to be removed. Clarification would be required in relation to whether this is a drawing discrepancy. The existing condition of the column would need to be confirmed alongside whether it is to be reinstated or left as existing.
- Ceilings - (Dwg Nos 12820 Rev P03, 12821 Rev P03 and 12822 Rev P03) - There are no

objections to the principle of removing and replacing the existing ceilings with a consolidated and consistent approach. The proposed ceiling design would provide an enhancement to the character and style of the building providing it is well executed and finished.

- Subdivisions - Ground floor (Dwg No. 12210 Rev P02) - As per pre-application advice, the subdivision of the ground floor would to some degree reinstate the original floor plan. Therefore, the principle of the works are deemed admissible.
- Reception area - Ground floor (Dwg No. 12210 Rev P02) - The principle of refurbishing and potentially enhancing the reception area along the eastern side of the building would be deemed admissible. The original internal decorative columns would need to be retained and protected during works. It is strongly recommended that a consistent design approach would need to be adopted throughout the building, ideally with the interior design and appearance relating to the character and style of the original building.
- Curved sliding entrance door and pass doors - Ground floor, east elevation and detail (Dwg Nos. 12210 Rev P02; 12604 Rev P01 and 12700 Rev P03) - The proposed new curved sliding doors and pass doors (eastern main entrance) would introduce a new door type along this elevation. It would result in a more imposing entrance diminishing the building's horizontal emphasis along the ground floor and introducing a curved form. The curved entrance door is far from ideal however it is recognised a revolving door was likely an original design feature. In order to maintain some horizontal definition ideally the opening should not extend up to the ceiling height. A transom detail would need to be reinstated in the design of the proposed doors. Amendments and further design details would be required in relation to the proposed doors. It is understood that the curved doors are proposed to comprise of a GEZE Slimdrive SCR (or similar) system and the pass doors to be a Schuco ADS 70 HD (heavy duty) door (or similar) system. However, confirmation of the exact product to be used would be required prior to installation. Therefore, this shall be covered by way of a condition.
- Steps - Ground floor (Dwg No. 12210 Rev P02) - As existing and reviewing the proposed detail section, Dwg No. 12402 Rev P01, there does not appear to be a ground level difference. Therefore, clarification is required in relation the proposed 4-steps leading to/from the existing fire escape route/ existing tunnel access, along the northern side of the building.
- Canteen/ cafe and kitchen - Ground floor (Dwg No. 12210 Rev P02) - The relocation of the canteen/cafe space from the western portion of the building to the northern end would alter the original manner in which ground floor spaces had been used. However, the relocation of the kitchen would reinstate it within its original location. Therefore, on balance it would be deemed an enhancement. It is understood that all new servicing, pipe runs and extract vents shall be positioned within the suspended ceiling void with existing service risers re-used. If this is not the case further information would be required.
- Kitchen bin store - Ground floor (Dwg No. 12210 Rev P02) - Clarification of the bin storage arrangements for the kitchen would be required. Will the proposed bin storage (south-eastern corner of the building) be shared?
- Reflecting pool - Ground floor and detail (Dwg Nos. 12210 Rev P02 and 12701 Rev P03) - No objections to the reinstatement of the reflecting pool and original design intent of the island. The inclusion of lighting around the island would be deemed admissible in this instance. It would be useful to have this detail clearly indicated on the ground floor plan.
- Strip floor along edge of reflecting pool - Ground floor and detail (Dwg Nos. 12210 Rev P02 and 12701 Rev P03) - The new strip of flooring along the northern edge of the pool would alter its original proportions resulting in a significant negative impact on the appearance of the space. Whilst it is appreciated that the floor finish would match that of the pool there are some concerns. If a compromise was to be made in this regard consideration would need to be given towards the reversibility of the alteration.

Furthermore, the connection between the existing Portland stone paving and proposed porcelain tile would need to be very carefully detailed. It is strongly advised a small recess/gap is maintained between the edge of the original pool and new strip of flooring. A detailed drawing would need to be submitted prior to installation. This shall be covered by way of a condition.

- New & replacement courtyard doors - Ground floor, north courtyard elevation and detail (Dwg Nos. 12210 Rev P02; 12602 Rev P03 and 12700 Rev P03) - It is recommended the new doors aim to reinstate the original design intent of the secondary doors. From looking at historic photographs a mid-horizontal bar appears to be an original detail. The mid-horizontal bar would need to be included in the design

of the new and replacement doors. Further details of the new glazed doors along the northern courtyard elevation (between the proposed cafe area and reflecting pool) would be required. It is understood that a Schuco ADS 70 HD (heavy duty) door (or similar) system is proposed however confirmation of the exact product to be used would be required prior to installation. Therefore, this shall be covered by way of a condition.

- Courtyard base profile to curtain walling - Ground floor and Demolition plan courtyard elevation (Dwg No. 12210 Rev P02 and 12552 Rev P03) - No objections to the principle of the works however, further details of the replacement base profile would need to be submitted. This shall be covered by way of a condition.

- New showers and toilets - Ground floor (Dwg No. 12210 Rev P02) - It is understood that all new servicing, pipe runs and extract vents shall be positioned within the suspended ceiling void with existing service risers re-used. If this is not the case further information would be required.

- New floor slab - Ground floor (Dwg No. 12210 Rev P02) - Details of the new floor slab within the south-west corner of the building would be required, (relating to new office space and proposed rationalisation of plant room). This shall be covered by way of a condition.

- Secondary entrances - Ground floor and detail (Dwg Nos. 12210 Rev P02 and 12700 Rev P03) - It is recommended the new doors aim to reinstate the original design intent of the secondary doors. From looking at historic photographs a mid-horizontal bar appears to be an original detail. The mid-horizontal bar would need to be included in the design of the new doors. Further details of the new, replacement glazed doors to the secondary entrances would be required. It is understood that a Schuco ADS 70 HD (heavy duty) door (or similar) system is proposed however confirmation of the exact product to be used would be required prior to installation. Therefore, this shall be covered by way of a condition.

- Bin store doors - Ground floor (Dwg No. 12210 Rev P02) - It is recommended the new doors aim to reinstate the original design intent of the secondary doors. From looking at historic photographs a mid-horizontal bar appears to be an original detail. The mid-horizontal bar would need to be included in the design of the new doors. Further details of new, replacement doors to bin store entrance would be required. It is understood that a Schuco ADS 70 HD (heavy duty) door (or similar) system is proposed however confirmation of the exact product to be used would be required prior to installation. Therefore, this shall be covered by way of a condition.

- Clerestory glazing - Ground floor and north elevation (Dwg Nos. 12210 Rev P02 and 12603 Rev P01) - The proposed replacement of the existing clerestory glazing for 14 x new louvred panels would be considered unacceptable. The proposal to match the existing louvre detail along the south elevation would be considered inappropriate. It is unclear whether the existing louvres are original features nevertheless they relate to the plant room. The proposed enclosed spaces along the northern elevation principally comprise of shower facilities and would benefit from some natural light. Whilst some degree of privacy is required this could be achieved by other means. The clerestory curtain wall is a distinctive feature of the sunken building and the replacement of glazing for solid louvred panels would be considered harmful to the character and appearance of the building. The existing curtain

wall glazing would need to be retained.

- Existing louvred panels - Ground floor and south elevation (Dwg Nos. 12210 Rev P02 and 12603 Rev P01) - The replacement of the 3 x existing louvred panels and replacement with the curtain wall system would be deemed acceptable. The curtain wall system would need to match the existing, therefore further details would need to be submitted. This shall be covered by way of a condition.
- Plant equipment - Roof (Dwg No. 12213 Rev P02) - No objection to the removal of existing plant equipment from roof.
- Drainage - Roof (Dwg No. 12213 Rev P02) - Clarification regarding existing and proposed drainage system would be required. This shall be covered by way of a condition.
- Structural openings - Roof (Dwg Nos. 12163 Rev P01 and 12213 Rev P02) - The demolition plan indicates the need for 'new structural openings for stacks below, to vent at roof'. It is understood that new structural openings are required for the new AOV and roof light, over the eastern stairwell. However, clarification would be required in relation to the structural openings for the 'stacks below'. It is not clear whether the structural openings for the 'stacks below' relate to the ventilation of the service risers. If this is the case this has not been detailed on the submitted plans. Further details would be required prior to works taking place. Details would need to accurately indicate the location, size of the opening and any further structural interventions required. This shall be covered by way of a condition.
- New AOV - Roof (Dwg No. 12213 Rev P02) - The new AOV over the eastern stairwell would introduce a new opening at roof level however considering the purpose it serves a compromise can be made in this regard. Details of the new AOVs would need to be submitted, this shall be covered by way of a condition.
- New rooflight - Roof (Dwg No. 12213 Rev P02) - The provision of a new rooflight over the eastern stairwell is aspirational however would not be deemed essential as the new AOV would provide some light into the stairwell, and as noted above a compromise can be made in that regard. The large rooflight would permanently alter the historic fabric and introduce a new feature to the building at roof level. Therefore, in this instance it would be deemed unacceptable.
- Access hatch - Roof (Dwg No. 12213 Rev P02) - Details of the new access hatch would be required. This shall be covered by way of a condition.

Central Building (former Research laboratories)

- Circulation core - All floors - No objection to the alteration and extension of the existing cores.
- New showers and toilets - Ground floor (Dwg No. 12220 Rev P02) - No objection. It is understood that all new servicing, pipe runs and extract vents shall be positioned within the suspended ceiling void with existing service risers re-used. If this is not the case further information would be required.
- New glazed double doors - Ground floor (Dwg No. 12220 Rev P02) - It is recommended the new doors aim to reinstate the original design intent of the secondary doors. From looking at historic photographs a mid-horizontal bar appears to be an original detail. The mid-horizontal bar would need to be included in the design of the new doors. Further details of the new, replacement glazed doors to the secondary entrances would be required. It is understood that a Schuco ADS 70 HD (heavy duty) door (or similar) system is proposed however confirmation of the exact product to be used would be required prior to installation. Therefore, this shall be covered by way of a condition.
- Main entrance, curved sliding entrance door - Ground floor and north elevation (Dwg Nos. 12220 Rev P02 and 12605 Rev P01) - The proposed new curved sliding doors and pass doors (northern main entrance) would replicate the existing door arrangement and appearance. The existing door was most likely installed prior to the listing of the building. It

is disappointing the opportunity to enhance the appearance of the building has not been considered in this instance with the potential of reinstating the original entrance appearance. The proposal and as existing, diminishes the building's horizontal emphasis along the ground floor. The curved entrance door is far from ideal however it is recognised a revolving door was likely an original design feature. In order to maintain some horizontal definition ideally the opening should not extend up to the ceiling height. A transom detail would need to be reinstated in the design of the proposed doors. Amendments and further design details would be required in relation to the proposed doors. It is understood that the curved doors are proposed to comprise of a GEZE Slimdrive SCR (or similar) system and the pass doors to be a Schuco ADS 70 HD (heavy duty) door (or similar) system. However, confirmation of the exact product to be used would be required prior to installation. Therefore, this shall be covered by way of a condition.

- Drainage - Roof (Dwg No. 12223 Rev P02) - Clarification regarding existing and proposed drainage system would be required. This shall be covered by way of a condition.
- Structural openings - Roof (Dwg Nos. 12173 Rev P01 and 12223 Rev P02) - The demolition plan indicates the need for 'new structural openings for stacks below, to vent at roof'. It is not clear whether the structural openings for the 'stacks below' relate to the ventilation of the service risers. If this is the case this has not been detailed on the submitted plans. Further details would be required prior to works taking place. Details would need to accurately indicate the location, size of the opening and any further structural interventions required. This shall be covered by way of a condition.
- New AOVs - Roof (Dwg No. 12223 Rev P02) - The new AOVs would be deemed admissible. Details of the new AOVs would need to be submitted, this shall be covered by way of a condition.
- New rooflight - Roof (Dwg No. 12223 Rev P02) - The provision of a new rooflight over the eastern stairwell is aspirational however would not be deemed essential as the AOV would provide some light into the stairwell. It would permanently alter the historic fabric and introduce a new feature to the building at roof level. Therefore, in this instance it would be deemed unacceptable.
- Access hatch - Roof (Dwg No. 12223 Rev P02) - Details of the new access hatch would be required. This shall be covered by way of a condition.

Site and setting

- New external paving (main entrances) - A sample of the proposed paving, detailed as Marshalls conservation textured heather paver would need to be submitted and approved in writing prior to installation. This shall be covered by way of a condition.
- The proposed cycle store will be located on the lower ground floor of the existing deck car park, along the southern elevation. Whilst visible within the context of the Central Building it would have a minimal impact on its setting in this instance.
- The proposed trim trail with a scatter of timber exercise structures would introduce some contrasting features within the parkland setting. Whilst views of the space would be highly visible from within the buildings the intended natural appearance of the trim trail would minimise the harm caused.
- Security cameras - Paragraph 6.3 within the Design and Access Statement states that additional security cameras will be installed around the buildings. Further details would be required in this regard.

Overall, the proposed works are likely to amount to less than substantial harm in this instance. It is recognised that the internal refurbishment of the buildings, including the reinstatement of the reflecting pool would provide an enhancement. However, some works would be considered harmful to the character and appearance of the Listed Buildings and

therefore amendments are recommended in order to lessen the extent of harm.

In any instance, under Sections 16 and 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990, a statutory duty is placed upon the decision maker to pay special attention to the preservation of the Listed Building and its setting. Therefore, this must be considered in determining this application.

Conclusion: Less than substantial harm - Amendments and conditions recommended

PLANNING OFFICER COMMENT:

Revised plans and documents were submitted by the applicant in response to the Conservation Officer's comments.

CONSERVATION OFFICER (Dated 11th December 2020):

The following comments have been addressed and are deemed admissible subject to conditions (previously stated):

- Replacement and new doors to courtyard, secondary entrances and bin store doors - all include a mid-horizontal detail. Final approval would be subject to the previously recommended conditions
- Internal 4 steps within South Building - replacing existing ramp
- Bins relating to cafe
- Security cameras - condition for both Planning and LBC: Prior to installation, product and manufacturer information of all external and internal security cameras shall be submitted to and approved in writing by the Local Planning Authority. Works shall be carried out in accordance to approved details.

The following comments have not been adequately addressed, in response to their statement additional comments noted below:

- Curved entrance doors and pass doors - suggested amendment not implemented however a compromise could be made. The detail of the door is subject to a previously recommended condition
- South Building - Retention of clerestory curtain wall glazing along the north elevation. Omission of spandrel panel with louvres - as proposed this element would still be considered unacceptable. No justification as to why this alteration is required, furthermore the historic photograph within the submitted 'Planning Response Statement' (19th Nov 2020), clearly shows the section of glazing proposed to be altered was originally glazing. It would not reinstate an original feature in the location proposed it would alter the original appearance.
- Rooflights - would still result in loss of historic built fabric.

If the applicants are willing to meet us in the middle I would be willing to comprise on the roof lights subject to the clerestory curtain wall glazing along the north elevation is retained. If a compromise was made in this regard, a condition relating to the new roof lights and the submission of product and manufacturer details prior to installation would be required.

CONSERVATION OFFICER (Dated 14th December 2020):

The main concern with the roller blinds would be the fixture within the ceiling void and such information is satisfied by the details already submitted. I don't think a condition relating to product details of the roller blinds themselves would be necessary as the roller blind

material is technically a fitting.

14 louvred panels

It is unclear why they are proposing to replace the glazing, would they be able to provide more information. I have noted wording below for relevant conditions relating to the louvred panels. The drawing numbers (in red) need to be checked.

Notwithstanding the approved plans, drawing numbers 12210 Rev P02 and 12603 Rev P01, the 14 panels at ground level, along the north elevation of the South building shown as being louvred shall be retained as glazed panels, as existing.

Prior to commencement of any works, amended scaled drawings detailing the above shall be submitted to and approved in writing by the Local Planning Authority. Works shall be carried out in accordance to approved details.

Prior to implementation of relevant works, a detailed scaled drawing of the ground floor internal layout of the shower area within the South building and associated obscure glazing/frosted glass to 3 double-glazed panels along the north elevation of the South building shall be submitted to and approved in writing by the Local Planning Authority. Where relevant, product and manufacturer information shall be submitted. Works shall be carried out in accordance to approved details.

In addition to the above, there was a previous condition I had recommended (original comments) in relation to the new glazed panels along the south elevation of the South building (where louvred panels are to be removed due to amendments to the plant room). If another compromise is made in terms of replacing the existing 14 panels of glazing with new double-glazed units (to match the existing) the original wording could be amended to include reference to the north elevation (highlighted in red below) - in an attempt to limit the number of conditions.

Curtain wall system - north and south elevation clerestory

Before the relevant works commence, further details of the new curtain wall glazing along the ground floor, north and south elevation of the South Building shall be submitted to and approved in writing by the Local Planning Authority. Details shall include a scaled cross-section of the curtain wall glazing and a sample of the glass shall be made available on site for inspection by the Local Planning Authority Conservation Officer. The curtain wall glazing shall be installed flush with the existing and match in appearance. Works shall be carried out in accordance to the approved details.

REASON: To safeguard the special architectural and/or historic interest of the listed building, in accordance to policy HE1 of Hillingdon's Local Plan: Part 1, policies DMHB 1 and 2 of the Hillingdon's Local Plan: Part 2 and the Planning (Listed Buildings and Conservation Areas) Act 1990.

Shower ductwork/extract condition wording:

Prior to commencement of relevant works, details of ductwork and extract vent for ground floor shower area within the South building shall be submitted to and approved in writing by the Local Planning Authority. Works shall be carried out in accordance to approved details.

Lightweight partitions, condition wording:

Prior to installation, details of internal lightweight partitions within the South and Central buildings across all floors shall be submitted to and approved in writing by the Local Planning Authority. Where relevant, product and manufacturer information and detailed scaled drawings shall be submitted. Works shall be carried out in accordance to approved details.

Ceilings and lighting - I do not feel a condition is required in this instance as the details provided within the submitted information would suffice in this instance.

Save for safeguarding the two remaining original columns within the South building reception area and existing appearance of the building the design of the reception area and cafe is not fundamental to the special interest of the listed building. The finishes and decoration would be most likely deemed fittings rather than fixtures. As per my original comments, would encourage every opportunity to enhance the original design and style of the building is taken in these areas.

Finishes to new internal walls would not be required in this instance.

CONSERVATION OFFICER (Dated 7th January 2021):

Subject to previously recommended conditions, the amended plans would satisfy previous comments. Conditional Consent is recommended in this instance.

4. Local Plan Designation and London Plan

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

PT1.HE1 (2012) Heritage

Part 2 Policies:

DMHB 1 Heritage Assets

DMHB 2 Listed Buildings

DMHB 11 Design of New Development

LPP 7.8 (2016) Heritage assets and archaeology

NPPF- 16 NPPF-16 2018 - Conserving & enhancing the historic environment

5. MAIN PLANNING ISSUES

The main planning issue relates to the impact of the proposed works on the character, appearance and setting of the Grade II Listed building. The following planning policies are considered relevant:

Policy 7.8 of the London Plan (March 2016) states that development affecting heritage assets and their settings should conserve their significance, by being sympathetic to their form, scale, materials and architectural detail. Policy HC1 of the London Plan (December 2020) supports this.

Policy BE1 of the Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012) seeks a quality of design in all new development that enhances and contributes to the area in terms of form, scale and materials; is appropriate to the identity and context of the townscape; and would improve the quality of the public realm and respect local character.

Policy HE1 of the Hillingdon Local Plan: Part 1 - Strategic Policies (November 2012) states that the Council will conserve and enhance Hillingdon's distinct and varied environment, its settings and the wider historic landscape.

Policy DMHB 1 of the Hillingdon Local Plan: Part 2 - Development Management Policies (January 2020) states that:

A) The Council will expect development proposals to avoid harm to the historic environment. Development that has an effect on heritage assets will only be supported where:

- i) it sustains and enhances the significance of the heritage asset and puts them into viable uses consistent with their conservation;
- ii) it will not lead to a loss of significance or harm to an asset, unless it can be demonstrated that it will provide public benefit that would outweigh the harm or loss, in accordance with the NPPF;
- iii) it makes a positive contribution to the local character and distinctiveness of the area;
- iv) any extensions or alterations are designed in sympathy, without detracting from or competing with the heritage asset;
- v) the proposal would relate appropriately in terms of siting, style, scale, massing, height, design and materials;
- vi) buildings and structures within the curtilage of a heritage asset, or in close proximity to it, do not compromise its setting; and
- vii) opportunities are taken to conserve or enhance the setting, so that the significance of the asset can be appreciated more readily.

Policy DMHB 2 of the Hillingdon Local Plan: Part 2 - Development Management Policies (January 2020) states:

A) Applications for Listed Building Consent and planning permission to alter, extend, or change the use of a statutorily Listed Building will only be permitted if they are considered to retain its significance and value and are appropriate in terms of the fabric, historic integrity, spatial quality and layout of the building. Any additions or alterations to a Listed Building should be sympathetic in terms of scale, proportion, detailed design, materials and workmanship.

D) Planning permission will not be granted for proposals which are considered detrimental to the setting of a Listed Building.

As confirmed by the Council's Conservation Officer, the extent of harm is considered to be less than substantial, therefore requiring consideration of paragraph 196 of the National Planning Policy Framework (2019). This states that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

It is recognised that the internal refurbishment of the buildings, including the reinstatement of the reflecting pool, would provide an enhancement. The works also bring the proposed buildings back into use and secures the long term future of the designated heritage assets. Although some works would remove historic fabric, revisions to the proposal have been made to limit the extent of this. Conditions are also proposed to safeguard the special

architectural and historic interest of the listed building. The public benefits of the proposal are therefore considered to outweigh the harm posed.

Subject to conditions, the proposed development is considered to accord with Policy DMHB 1 and DMHB 2 of the Hillingdon Local Plan: Part 2 - Development Management Policies (January 2020), Policy HE1 and BE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policy 7.8 of the London Plan (March 2016), Policy HC1 of the London Plan (December 2020) and the National Planning Policy Framework (February 2019).

6. RECOMMENDATION

APPROVAL subject to the following:

1 LB1 Time Limit (3 years) - Listed Building Consent

The works hereby permitted shall be begun before the expiration of three years from the date of this consent.

REASON

To comply with the provisions of Section 18(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990, as amended, to prevent the accumulation of unimplemented listed building consents and to enable the Local Planning Authority to review the situation at the end of this period if the development has not begun.

2 COM4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers:

HBP-ORM-ZZ-00-DR-A-12001 Rev. P03;
HBP-ORM-ZZ-00-DR-A-12002 Rev. P03;
HBP-ORM-ZZ-00-DR-A-12100 Rev. P05;
HBP-ORM-ZZ-00-DR-A-12110 Rev. P01;
HBP-ORM-ZZ-00-DR-A-12120 Rev. P01;
HBP-ORM-ZZ-01-DR-A-12101 Rev. P03;
HBP-ORM-ZZ-01-DR-A-12111 Rev. P01;
HBP-ORM-ZZ-01-DR-A-12121 Rev. P01;
HBP-ORM-ZZ-02-DR-A-12102 Rev. P03;
HBP-ORM-ZZ-02-DR-A-12112 Rev. P01;
HBP-ORM-ZZ-02-DR-A-12122 Rev. P01;
HBP-ORM-ZZ-03-DR-A-12103 Rev. P03;
HBP-ORM-ZZ-03-DR-A-12113 Rev. P01;
HBP-ORM-ZZ-03-DR-A-12123 Rev. P01;
HBP-ORM-ZZ-AA-DR-A-12300 Rev. P03;
HBP-ORM-ZZ-AA-DR-A-12301 Rev. P01;
HBP-ORM-ZZ-AA-DR-A-12302 Rev. P01;
HBP-ORM-ZZ-B1-DR-A-12109 Rev. P05;
HBP-ORM-ZZ-B1-DR-A-12119 Rev. P03;
HBP-ORM-ZZ-B1-DR-A-12129 Rev. P01;
HBP-ORM-ZZ-EA-DR-A-12504 Rev. P01;
HBP-ORM-ZZ-EA-DR-A-12506 Rev. P01;

HBP-ORM-ZZ-NO-DR-A-12500 Rev. P05;
HBP-ORM-ZZ-NO-DR-A-12503 Rev. P03;
HBP-ORM-ZZ-NO-DR-A-12505 Rev. P01;
HBP-ORM-ZZ-SO-DR-A-12501 Rev. P03;
HBP-ORM-ZZ-SO-DR-A-12502 Rev. P03;
HBP-ORM-ZZ-00-DR-A-12200 Rev. P06;
HBP-ORM-ZZ-00-DR-A-12210 Rev. P05;
HBP-ORM-ZZ-00-DR-A-12220 Rev. P04;
HBP-ORM-ZZ-01-DR-A-12201 Rev. P05;
HBP-ORM-ZZ-01-DR-A-12211 Rev. P04;
HBP-ORM-ZZ-01-DR-A-12221 Rev. P04;
HBP-ORM-ZZ-02-DR-A-12202 Rev. P05;
HBP-ORM-ZZ-02-DR-A-12212 Rev. P04;
HBP-ORM-ZZ-02-DR-A-12222 Rev. P04;
HBP-ORM-ZZ-03-DR-A-12203 Rev. P04;
HBP-ORM-ZZ-03-DR-A-12213 Rev. P03;
HBP-ORM-ZZ-03-DR-A-12223 Rev. P02;
HBP-ORM-ZZ-AA-DR-A-12400 Rev. P03;
HBP-ORM-ZZ-AA-DR-A-12401 Rev. P01;
HBP-ORM-ZZ-AA-DR-A-12402 Rev. P01;
HBP-ORM-ZZ-B1-DR-A-12209 Rev. P05;
HBP-ORM-ZZ-B1-DR-A-12219 Rev. P04;
HBP-ORM-ZZ-B1-DR-A-12229 Rev. P02;
HBP-ORM-ZZ-EA-DR-A-12604 Rev. P02;
HBP-ORM-ZZ-EA-DR-A-12606 Rev. P01;
HBP-ORM-ZZ-NO-DR-A-12600 Rev. P06;
HBP-ORM-ZZ-NO-DR-A-12603 Rev. P04;
HBP-ORM-ZZ-NO-DR-A-12605 Rev. P03;
HBP-ORM-ZZ-SO-DR-A-12601 Rev. P06;
HBP-ORM-ZZ-SO-DR-A-12602 Rev. P05;
HBP-ORM-ZZ-00-DR-A-12150 Rev. P03;
HBP-ORM-ZZ-00-DR-A-12160 Rev. P01;
HBP-ORM-ZZ-00-DR-A-12170 Rev. P01;
HBP-ORM-ZZ-00-DR-A-12810 Rev. P02;
HBP-ORM-ZZ-00-DR-A-12813 Rev. P02;
HBP-ORM-ZZ-00-DR-A-12820 Rev. P03;
HBP-ORM-ZZ-00-DR-A-12823 Rev. P03;
HBP-ORM-ZZ-01-DR-A-12151 Rev. P03;
HBP-ORM-ZZ-01-DR-A-12161 Rev. P01;
HBP-ORM-ZZ-01-DR-A-12171 Rev. P01;
HBP-ORM-ZZ-01-DR-A-12811 Rev. P02;
HBP-ORM-ZZ-01-DR-A-12814 Rev. P02;
HBP-ORM-ZZ-01-DR-A-12821 Rev. P03;
HBP-ORM-ZZ-01-DR-A-12824 Rev. P03;
HBP-ORM-ZZ-02-DR-A-12152 Rev. P03;
HBP-ORM-ZZ-02-DR-A-12162 Rev. P01;
HBP-ORM-ZZ-02-DR-A-12172 Rev. P01;
HBP-ORM-ZZ-02-DR-A-12812 Rev. P02;
HBP-ORM-ZZ-02-DR-A-12815 Rev. P02;
HBP-ORM-ZZ-02-DR-A-12822 Rev. P03;
HBP-ORM-ZZ-02-DR-A-12825 Rev. P03;
HBP-ORM-ZZ-03-DR-A-12153 Rev. P03;
HBP-ORM-ZZ-03-DR-A-12163 Rev. P01;

HBP-ORM-ZZ-03-DR-A-12173 Rev. P01;
HBP-ORM-ZZ-AA-DR-A-12350 Rev. P03;
HBP-ORM-ZZ-AA-DR-A-12351 Rev. P01;
HBP-ORM-ZZ-AA-DR-A-12352 Rev. P01;
HBP-ORM-ZZ-B1-DR-A-12159 Rev. P03;
HBP-ORM-ZZ-B1-DR-A-12169 Rev. P01;
HBP-ORM-ZZ-B1-DR-A-12179 Rev. P01;
HBP-ORM-ZZ-EA-DR-A-12554 Rev. P01;
HBP-ORM-ZZ-EA-DR-A-12556 Rev. P01;
HBP-ORM-ZZ-NO-DR-A-12550 Rev. P03;
HBP-ORM-ZZ-NO-DR-A-12553 Rev. P01;
HBP-ORM-ZZ-NO-DR-A-12555 Rev. P01;
HBP-ORM-ZZ-SO-DR-A-12551 Rev. P03;
HBP-ORM-ZZ-SO-DR-A-12552 Rev. P03;
HBP-ORM-ZZ-ZZ-DR-A-12700 Rev. P05;
HBP-ORM-ZZ-ZZ-DR-A-12701 Rev. P03;
HBP-ORM-ZZ-ZZ-DR-A-12702 Rev. P03;
HBP-ORM-ZZ-ZZ-DR-A-12703 Rev. P03;
HBP-ORM-ZZ-ZZ-DR-A-12704 Rev. P02;

and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions Hillingdon Local Plan Parts 1 (November 2012) and 2 (January 2020) and the London Plan (March 2016).

3 NONSC Damage and Disturbance

During works the existing building including fixtures, fittings and features would need to be appropriately safeguarded. Any damage or disturbance caused to the building in execution of the approved works shall be made good to the satisfaction of the Local Planning Authority within six months of the works being completed.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

4 NONSC Cleaning Concrete

Before the relevant works commence, a methodology statement clearly stating the method of cleaning to be used on the existing concrete finish shall be submitted to and approved in writing by the Local Planning Authority. A cleaning test patch shall be carried out and inspected by the Local Planning Authority Conservation Officer, in a discreet location prior to full works taking place and shall be approved in writing. Works shall be carried out in accordance to the approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the

Planning (Listed Buildings and Conservation Areas) Act 1990.

5 NONSC Cleaning Facade Glazing

Before the relevant works commence, a methodology statement clearly stating the method of cleaning to be used on the existing facade glazing shall be submitted to and approved in writing by the Local Planning Authority. Works shall be carried out in accordance to the approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

6 NONSC Reinstated Granite Aggregate Finish

Before the relevant works commence, further details of the application of the granite aggregate finish to the external columns shall be submitted to and approved in writing by the Local Planning Authority. Details shall include the material mix ratio. An inspection of the trial (test patch) would need to be carried out by the Local Planning Authority Conservation Officer and approved in writing. The trial (test patch) shall be carried out in a discreet location. Works shall be carried out in accordance to the approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

7 NONSC External Projecting Slabs (Walkway)

Before the relevant works commence, details of the replacement finish to the external projecting floor slabs, to both buildings, shall be submitted to and approved in writing by the Local Planning Authority. Details shall include material product information. Works shall be carried out in accordance to the approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

8 NONSC Drainage

Before the relevant works commence, details of the drainage system, to both buildings, shall be submitted to and approved in writing by the Local Planning Authority. Details shall include scaled drawings where relevant. Works shall be carried out in accordance to the approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development

Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

9 NONSC Roof Layout

Before the relevant works commence to the roof, following clarification regarding the drainage system, further details of the tapered layout of the roof, to both buildings, shall be submitted to and approved in writing by the Local Planning Authority. Details shall include scaled drawings. Works shall be carried out in accordance to the approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

10 NONSC Roof Finish

Prior to installation, product information including manufacturer details, colour and finish to the roof of both buildings, shall be submitted to and approved in writing by the Local Planning Authority. Works shall be carried out in accordance to the approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

11 NONSC Roof - Structural Openings

Before the relevant works commence, details of the proposed new structural openings in relation to the ventilation of the stacks at roof level, to both buildings, shall be submitted to and approved in writing by the Local Planning Authority. Details shall include a plan showing the location of the openings and details of any further structural interventions required. Works shall be carried out in accordance to the approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

12 NONSC AOVs

Prior to installation, product information including manufacturer details of all new AOVs at roof level, to both buildings, shall be submitted to and approved in writing by the Local Planning Authority. Works shall be carried out in accordance to the approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

13 NONSC Access Hatch

Prior to installation, product information including manufacturer details (where relevant) of the access hatches at roof level, to both buildings, shall be submitted to and approved in writing by the Local Planning Authority. Works shall be carried out in accordance to the approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

14 NONSC Capping

Prior to installation, product information including manufacturer details of the black capping along the roof line, to both buildings, shall be submitted to and approved in writing by the Local Planning Authority. Works shall be carried out in accordance to the approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

15 NONSC Internal Structural Openings

Before the relevant works commence, details of the proposed new structural openings between floors or alterations to the existing service risers, within both buildings, shall be submitted to and approved in writing by the Local Planning Authority. Details shall include a plan showing the location of new and altered (existing) openings within the building and details of any further structural interventions required. Works shall be carried out in accordance to the approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

16 NONSC External Paving

Prior to installation, a sample of the proposed paving, detailed as Marshalls conservation textured heather paver shall be submitted to and approved in writing by the Local Planning Authority. Works shall be carried out in accordance to the approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

17 NONSC Floor Finishes

Prior to installation, a full schedule of all internal floor finishes to both buildings shall be submitted to and approved in writing by the Local Planning Authority. The schedule shall include product information including manufacturer details, colour and finish of the floor finishes. Works shall be carried out in accordance to the approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

18 NONSC External Doors

Prior to removal of the existing external doors, including courtyard doors, further details and a schedule of all existing and proposed external doors, including courtyard doors, shall be submitted to and approved in writing by the Local Planning Authority. The schedule shall include a photographic record of the existing doors and product information including manufacturer details, colour and finish of the new doors. A sample of the glazing to the doors shall be made available on site for inspection by the Local Planning Authority Conservation Officer. Except for the curved doors, all other external doors shall remain in line with the curtain wall glazed elevations. Works shall be carried out in accordance to the approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

19 NONSC Reflecting Pool - Strip Floor

Before the relevant works commence, a scaled detail drawing of the connection between the raised strip floor and existing Portland stone walkway around the existing reflecting pool shall be submitted to and approved in writing by the Local Planning Authority. The drawing shall be no more than 1:20 in scale. Works shall be carried out in accordance to the approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

20 NONSC Reflecting Pool - Tile Finish

Before the relevant works commence, product information including manufacturer details, colour and finish of the porcelain tile to line the reflecting pool and finish to the raised strip floor shall be submitted to and approved in writing by the Local Planning Authority. Works shall be carried out in accordance to the approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in

accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

21 NONSC Courtyard Base Profile

Before the relevant works commence, detail of the new courtyard base profile to the existing curtain wall glazing shall be submitted to and approved in writing by the Local Planning Authority. Works shall be carried out in accordance to the approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

22 NONSC Ground Floor Slab - South Building

Before the relevant works commence, further details of the new ground floor slab within the north-west corner of the South Building shall be submitted to and approved in writing by the Local Planning Authority. Details shall include a scaled cross-section of the floor slab and structural interventions required to integrate the floor slab with the existing structure. Works shall be carried out in accordance to the approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

23 NONSC Curtain Wall System - North and South Elevation Clerestory

Before the relevant works commence, further details of the new curtain wall glazing along the ground floor, north and south elevation of the South Building shall be submitted to and approved in writing by the Local Planning Authority. Details shall include a scaled cross-section of the curtain wall glazing and a sample of the glass shall be made available on site for inspection by the Local Planning Authority Conservation Officer. The curtain wall glazing shall be installed flush with the existing and match in appearance. Works shall be carried out in accordance to the approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

24 NONSC External Staircases

The external finishes to the existing external stairs shall match the existing.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November

2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

25 NONSC Security Cameras

Prior to installation, product and manufacturer information of all external and internal security cameras shall be submitted to and approved in writing by the Local Planning Authority. Works shall be carried out in accordance to approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

26 NONSC Roof Lights

Prior to installation, product and manufacturer information of the roof lights shall be submitted to and approved in writing by the Local Planning Authority. Works shall be carried out in accordance to approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

27 NONSC South Building Internal Layout and Obscure Glazing

Prior to implementation of relevant works, a detailed scaled drawing of the ground floor internal layout of the shower area within the South building and associated obscure glazing/frosted glass to 3 double-glazed panels along the north elevation of the South building shall be submitted to and approved in writing by the Local Planning Authority. Where relevant, product and manufacturer information shall be submitted. Works shall be carried out in accordance to approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

28 NONSC Shower Ductwork/Extract

Prior to commencement of relevant works, details of ductwork and extract vent for ground floor shower area within the South building shall be submitted to and approved in writing by the Local Planning Authority. Works shall be carried out in accordance to approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development

Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

29 NONSC Lightweight Partitions

Prior to installation, details of internal lightweight partitions within the South and Central buildings across all floors shall be submitted to and approved in writing by the Local Planning Authority. Where relevant, product and manufacturer information and detailed scaled drawings shall be submitted. Works shall be carried out in accordance to approved details.

REASON

To safeguard the special architectural and/or historic interest of the listed building, in accordance to Policy HE1 of Hillingdon's Local Plan: Part 1 - Strategic Policies (November 2012), Policies DMHB 1 and DMHB 2 of the Hillingdon's Local Plan: Part 2 - Development Management Policies (January 2020), Policy 7.8 of the London Plan (March 2016) and the Planning (Listed Buildings and Conservation Areas) Act 1990.

INFORMATIVES

- 1** The decision to GRANT Listed Building Consent has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).
- 2** The decision to GRANT Listed Building Consent has been taken having regard to the policies and proposals in the Hillingdon Local Plan Part 1 (2012) and Part 2 (2020) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan - The Spatial Development Strategy for London consolidated with alterations since 2011 (2016) and national guidance.

DMHB 1 Heritage Assets

DMHB 2 Listed Buildings

DMHB 1 Design of New Development

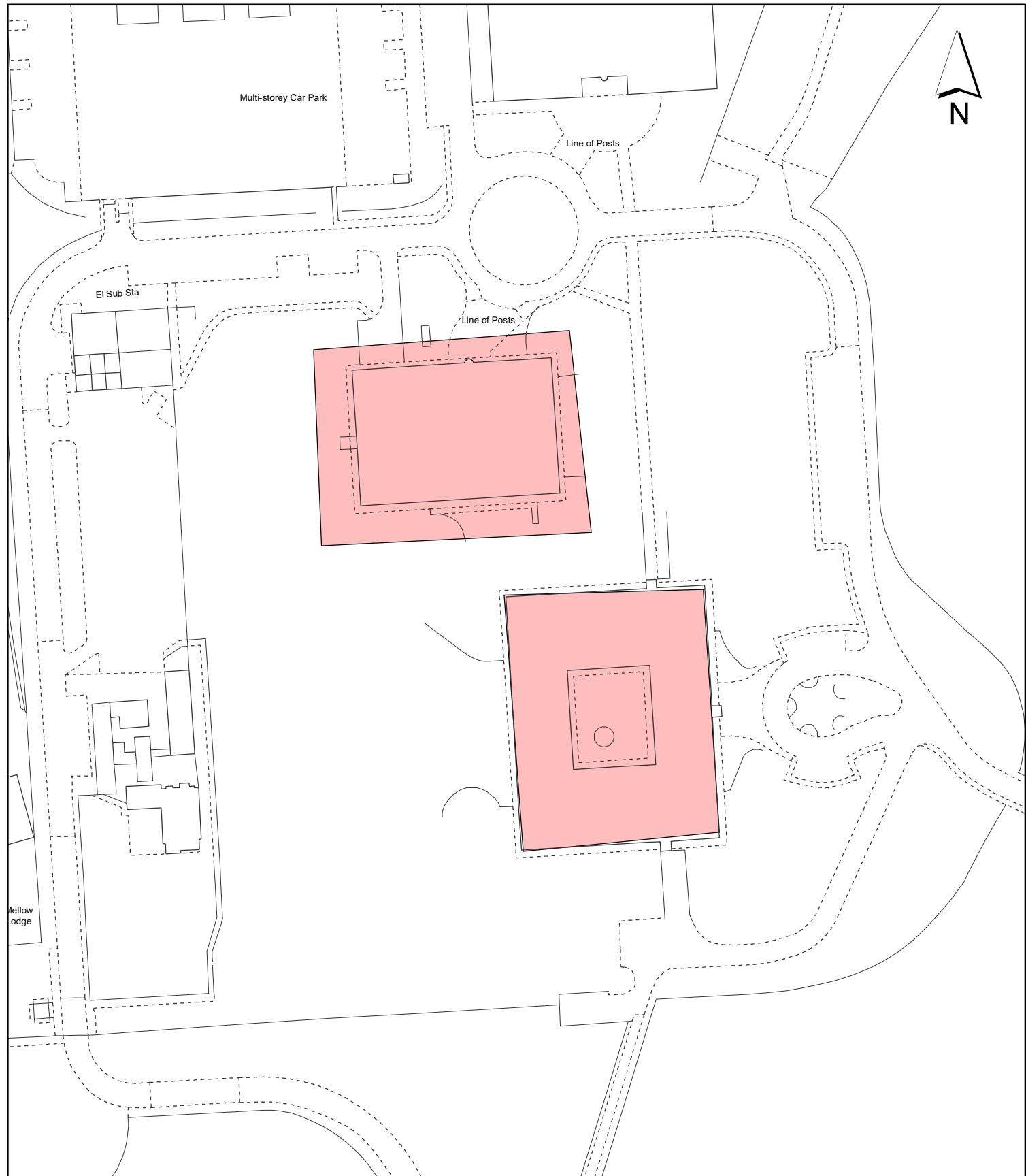
LPP 7.8 (2016) Heritage assets and archaeology

NPPF- 1 NPPF-16 2018 - Conserving & enhancing the historic environment

- 3** The applicant should note that this approval extends only to the works detailed as part of this application. In the event that the works cannot be implemented without a degree of alteration, the applicant is advised to contact the Local Planning Authority in order to ascertain whether further Consent might be required. During the works, if hidden features of interest are revealed they shall be retained in-situ. Works shall be halted in the relevant area of the building and the Local Planning Authority shall be notified in writing immediately. Failure to do so may result in unauthorised works being carried out and an offence being committed.

Contact Officer: Michael Briginshaw

Telephone No: 01895 250230



Notes:

 Site boundary

For identification purposes only.

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Site Address:

Hayes Park

**LONDON BOROUGH
OF HILLINGDON**
Residents Services
Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 01895 250111

Planning Application Ref:

12853/APP/2020/2980

Scale:

1:1,250

Planning Committee:

Central & South

Date:

February 2021



HILLINGDON
LONDON

STRICTLY NOT FOR PUBLICATION

Exempt information by virtue of paragraph(s) 2, 6a, 7 of Part 1 of Schedule 12A
of the Local Government Act 1972 (as amended).

Agenda Item 10

Document is Restricted

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STRICTLY NOT FOR PUBLICATION

Exempt information by virtue of paragraph(s) 2, 6a, 7 of Part 1 of Schedule 12A
of the Local Government Act 1972 (as amended).

Agenda Item 11

Document is Restricted

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STRICTLY NOT FOR PUBLICATION

Exempt information by virtue of paragraph(s) 2, 6a, 7 of Part 1 of Schedule 12A
of the Local Government Act 1972 (as amended).

Agenda Item 12

Document is Restricted

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STRICTLY NOT FOR PUBLICATION

Exempt information by virtue of paragraph(s) 2, 6a, 7 of Part 1 of Schedule 12A
of the Local Government Act 1972 (as amended).

Agenda Item 13

Document is Restricted

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STRICTLY NOT FOR PUBLICATION

Exempt information by virtue of paragraph(s) 2, 6a, 7 of Part 1 of Schedule 12A
of the Local Government Act 1972 (as amended).

Agenda Item 14

Document is Restricted

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STRICTLY NOT FOR PUBLICATION

Exempt information by virtue of paragraph(s) 2, 6a, 7 of Part 1 of Schedule 12A
of the Local Government Act 1972 (as amended).

Agenda Item 15

Document is Restricted

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Plans for Central & South Applications

Planning Committee

Thursday 4th February 2021



HILLINGDON
LONDON

www.hillingdon.gov.uk

Report of the Head of Planning, Transportation and Regeneration

Address 1 RAYNTON CLOSE HAYES

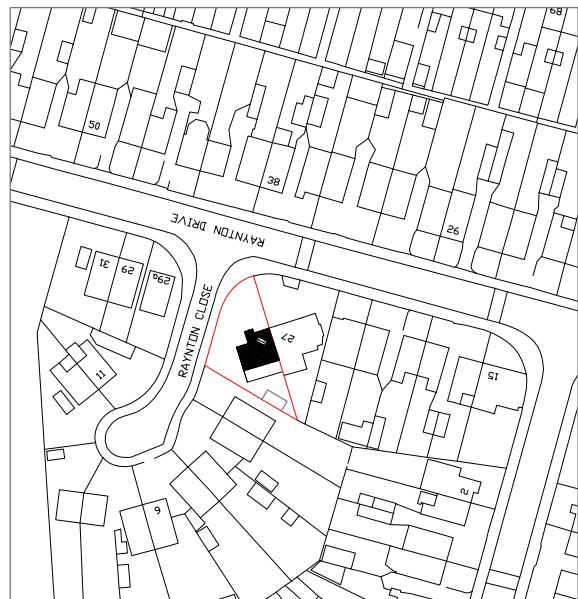
Development: Two storey side extension and single storey side/rear extension

LBH Ref Nos: 8096/APP/2020/3154

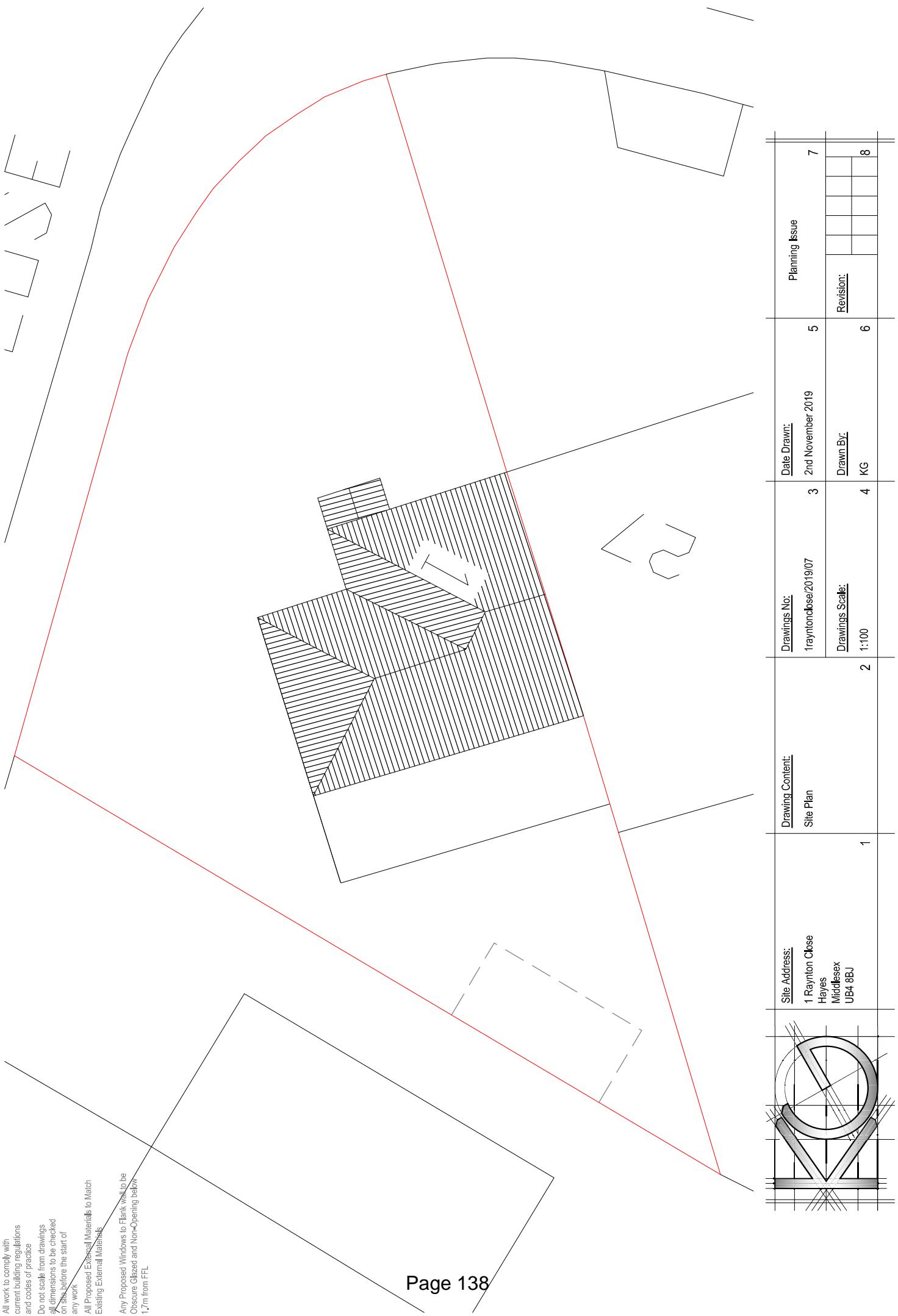
Drawing Nos:

All work to comply with
current building regulations
and codes of practice
Do not scale from drawings
all dimensions to be checked
on site before the start of
any work
All Proposed External Materials to Match
Existing External Materials

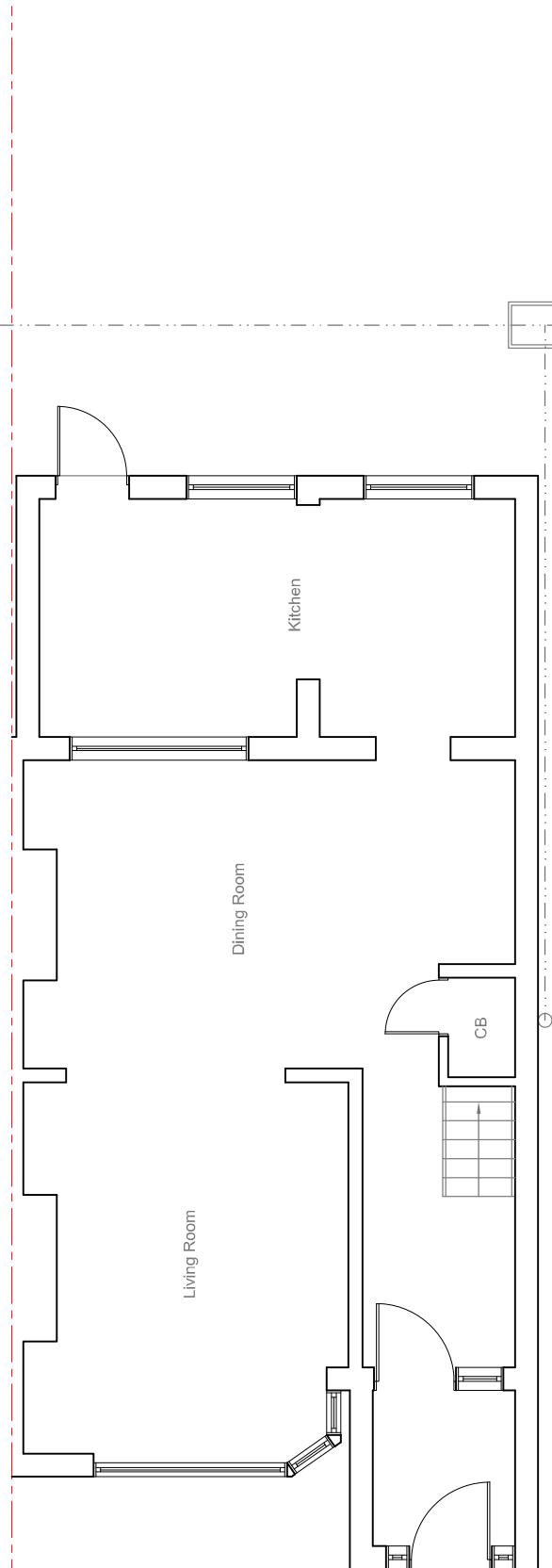
Any Proposed Windows to Blank wall to be
Oscure Glazed and Non-Opening below
1.7m from FFL



Site Address:	Drawing Content:	Drawings No.:	Date Drawn:	Planning Issue:	Revision:	Drawn By:	Drawings Scale:
1 Raynton Close Hayes Middlesex UB4 8BL	Location Plan	1rayntonclose/2019/07A	3	2nd November 2019	5		
		2	1:1250		6	KG	
					7		
					8		

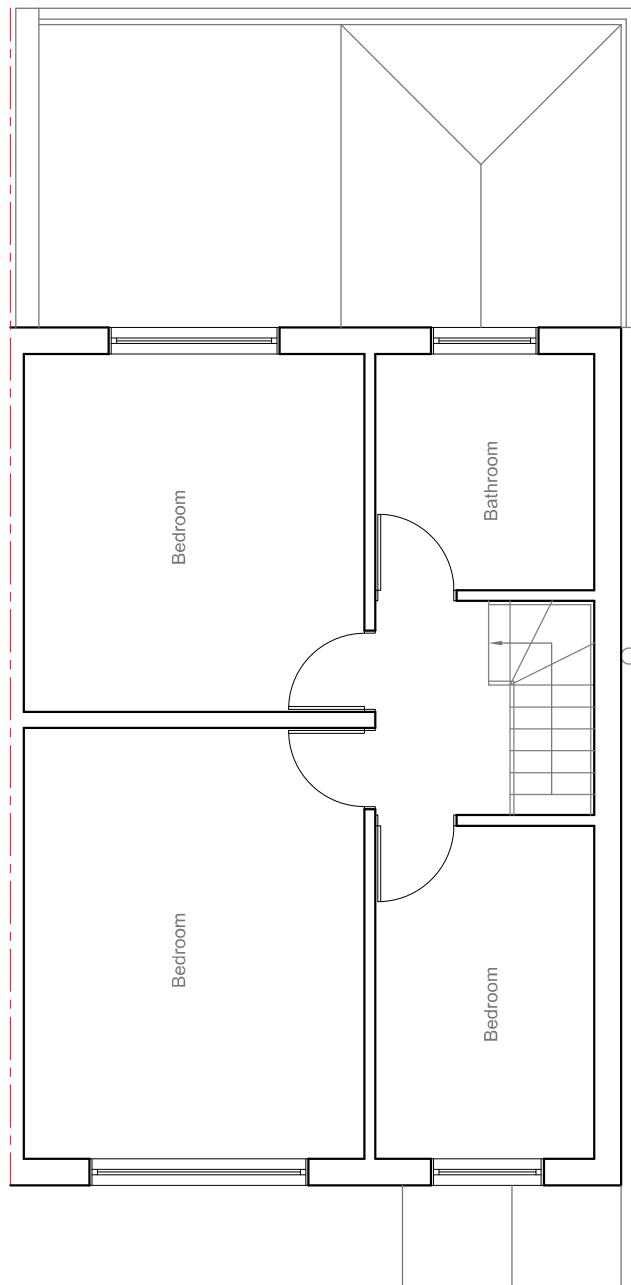


All work to comply with current building regulations and codes of practice
 Do not scale from drawings
 all dimensions to be checked on site before the start of any work
All Proposed External Materials to Match Existing External Materials
 Any Proposed Windows to Blank wall to be
 Obscure Glazed and Non-Opening below
 1.7m from FFL



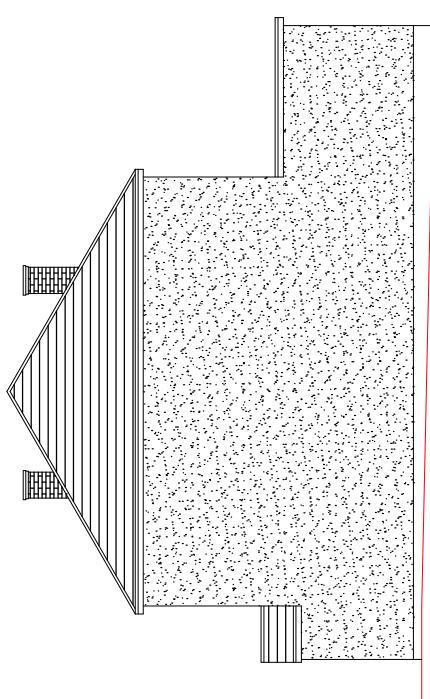
Site Address:	Drawing Content:	Drawings No.:	Date Drawn:	Planning Issue	
				1	7
1	Existing Ground Floor Plan	Drawings Scale:	Drawn By:	Revision:	
				2	8
1 Rayton Close Hayes Middlesex UB4 8BJ	1	1:50	KG		

All work to comply with
current building regulations
and codes of practice
Do not scale from drawings
all dimensions to be checked
on site before the start of
any work
All Proposed External Materials to Match
Existing External Materials
Any Proposed Windows to Blank wall to be
Oscure Glazed and Non-Opening below
1.7m from FFL

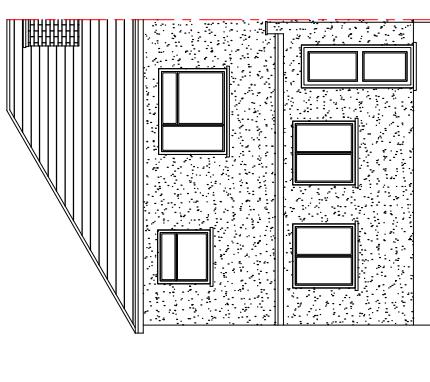


Site Address:	Drawing Content:	Drawings No.:	Date Drawn:	Planning Issue
1 Raynton Close Hayes Middlesex UB4 8BL	Existing First Floor Plan	1rayntonclose/2019/02	3 2nd November 2019	5 7
	Drawings Scale:	2 1:50	4 KG	6 8
	Drawn By:			Revision:

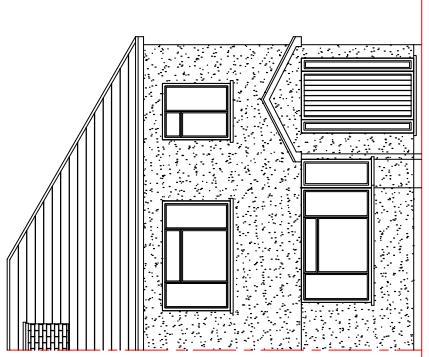
All work to comply with
current building regulations
and codes of practice
Do not scale from drawings
all dimensions to be checked
on site before the start of
any work
All Proposed External Materials to Match
Existing External Materials
Any Proposed Windows to Blank wall to be
Oscure Glazed and Non-Opening below
1.7m from FFL



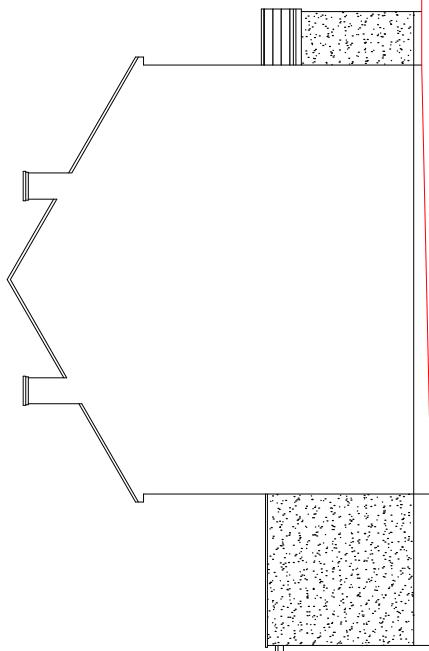
Existing Side Elevation
Scale 1:100



Existing Rear Elevation
Scale 1:100

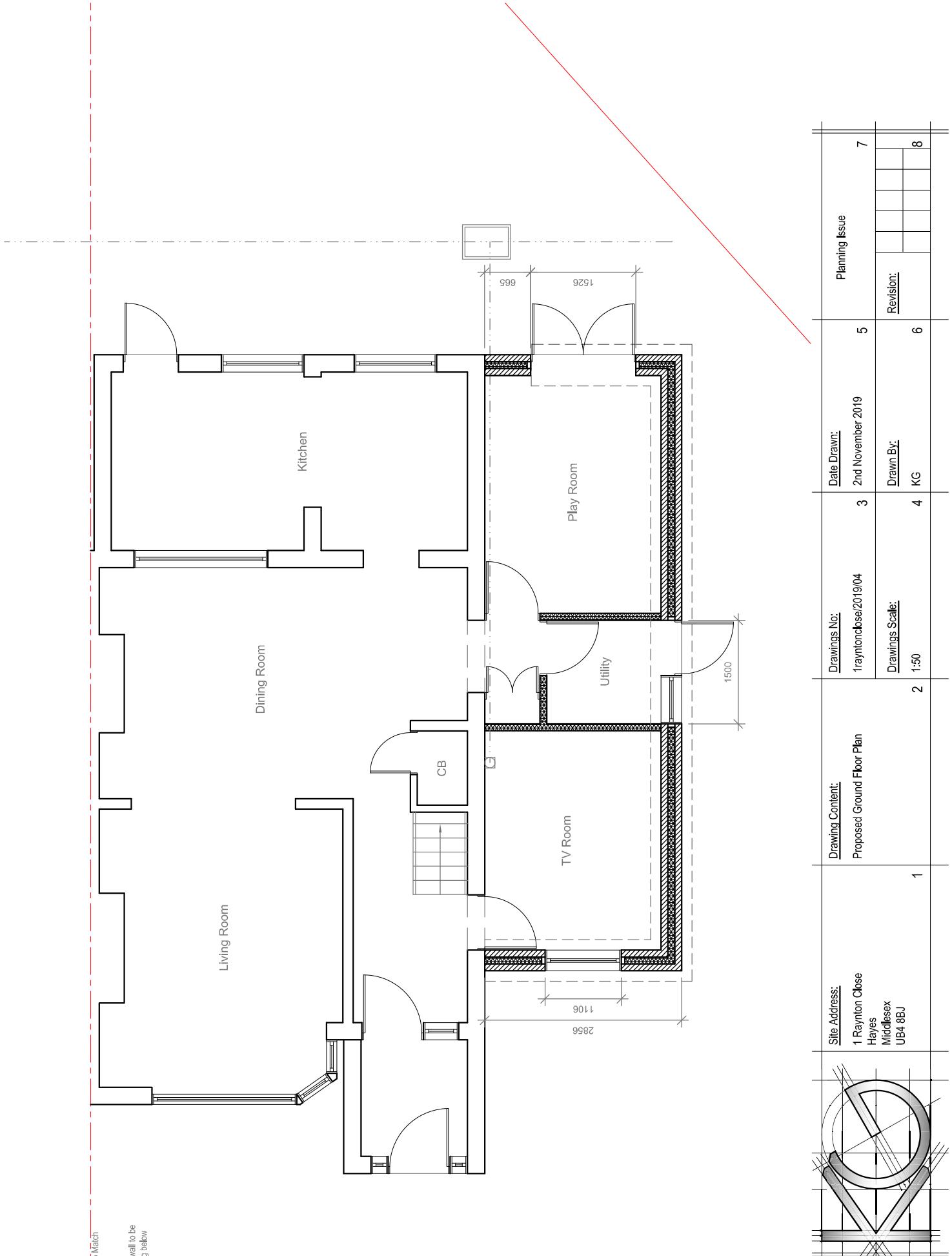


Existing Front Elevation
Scale 1:100



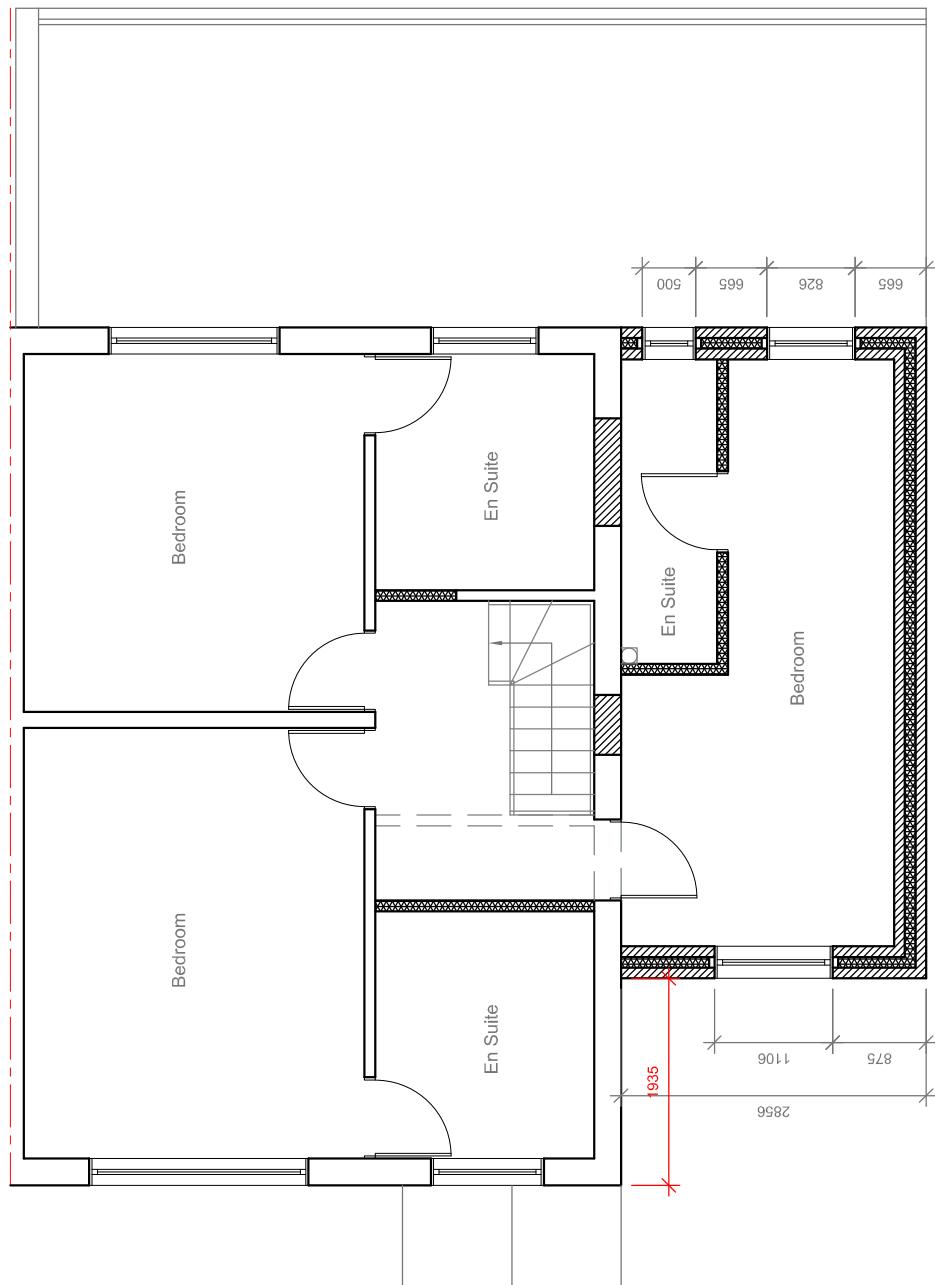
Existing Side Elevation
Scale 1:100

Site Address:	Drawing Content:	Drawings No.:	Date Drawn:	Planning Issue	Revision:							
					1	2	3	4	5	6	7	8
1 Raynton Close Hayes Middlesex UB4 8BL	Existing Elevations	1rayntonclose/2019/02	2nd November 2019	5		KG						



All work to comply with
current building regulations
and codes of practice
Do not scale from drawings
all dimensions to be checked
on site before the start of
any work

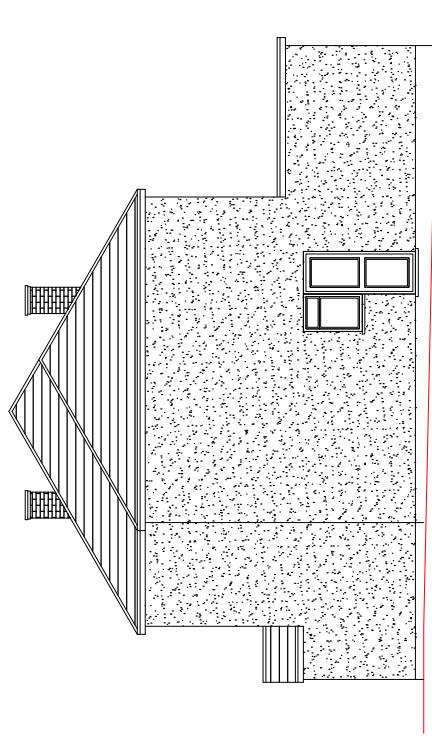
All Proposed External Materials to Match
Existing External Materials
Any Proposed Windows to Blank wall to be
Oscure Glazed and Non-Opening below
1.7m from FFL



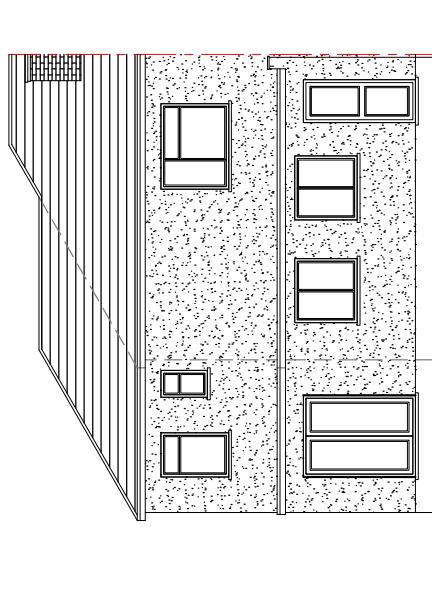
Site Address:	Drawing Content:	Date Drawn:	Planning Issue
1 Raynton Close Hayes Middlesex UB4 8BL	Proposed First Floor Plan	Drawings No:	Date Drawn:
Existing Materials	Proposed First Floor Plan	Drawings No:	Date Drawn:
Existing External Materials	Proposed First Floor Plan	Drawings No:	Date Drawn:
		2 1:50	1 1:50
		4 KG	6 KG
		7	8

All work to comply with
current building regulations
and codes of practice
Do not scale from drawings
all dimensions to be checked
on site before the start of
any work

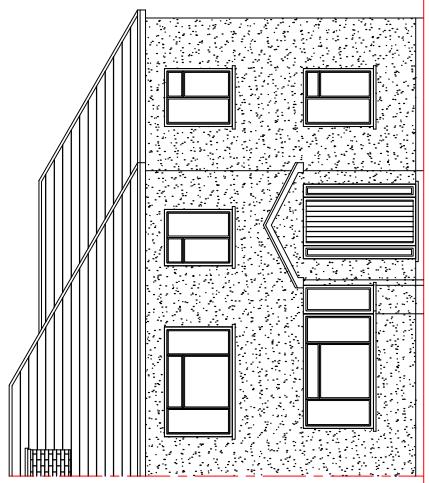
All Proposed External Materials to Match
Existing External Materials
Any Proposed Windows to Blank wall to be
Oscure Glazed and Non-Opening below
1.7m from FFL



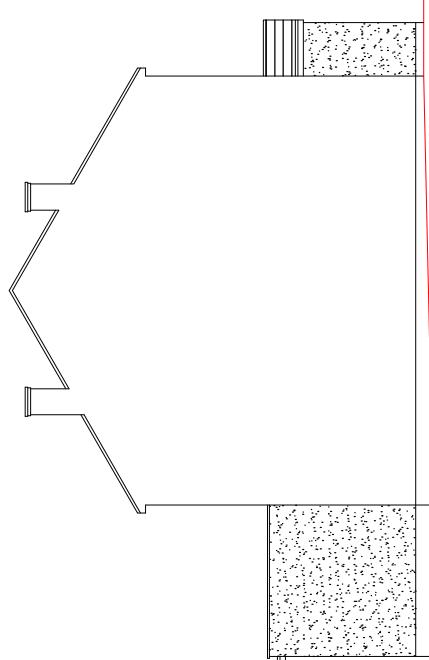
Proposed Side Elevation
Scale 1:100



Proposed Rear Elevation
Scale 1:100



Proposed Front Elevation
Scale 1:100



Proposed Side Elevation
Scale 1:100

Site Address:	Drawing Content:	Drawings No:	Date Drawn:	Planning Issue	Revision:		
					1	2	3
1 Raynton Close Hayes Middlesex UB4 8BL	Proposed Elevations	1rayntonclose/2019/06	2nd November 2019	5			
		2	1:100	4	KG		



Notes:

 Site boundary

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100019283

Site Address:

**1 Raynton Close
Hayes**

**LONDON BOROUGH
OF HILLINGDON**

Residents Services
Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: 01895 250111

Planning Application Ref:

8096/APP/2020/3154

Scale:

1:1,250

Planning Committee:

Central & South 145

Date:

February 2021



HILLINGDON
LONDON

Report of the Head of Planning, Transportation and Regeneration

Address SPITFIRE HOUSE CHURCHILL ROAD UXBRIDGE

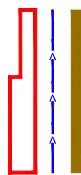
Development: Installation of a rooftop base station to accommodate 6 antenna apertures, 4 600mm dishes, 9 cabinets and associated ancillary development thereto

LBH Ref Nos: 585/APP/2020/3892

Drawing Nos:

NOTES:

1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.
 DIRECTIONS TO SITE:
 M40 DENHAM UXBRIDGE UBB 4DW UK HEAD WEST, AFTER 0.1 MILE, KEEP LEFT AT THE Y JUNCTION, FOLLOW SIGNS FOR UXBRIDGE/NEW DENHAM/A4020/SLough/442. AFTER 3.18 FEET AT THE MERGE WITH DENHAM ROUNDABOUT/A40, AFTER 3.18 FEET AT THE ROUNDABOUT, TAKE THE 1ST EXIT ONTO OXFORD ROAD, TAKE THE 2ND EXIT ONTO HILLINGDON ROAD/BR4/CO, AFTER 0.415 FEET YOUR DESTINATION WILL BE ON THE LEFT HAND SIDE.



Site Provider's
Property Boundary:
Access Route To Site:
Access Route:

Master	MBNL Ref	Project	Purpose of Issue	Issue
M003	MBNL	Project	Purpose of Issue	C
		Response /Logistics Description:		
		Minor Amendment: C: Management to Sector 3 as amended		

Master	MBNL	Project	Purpose of Issue	Issue
M002	MBNL	Project	Purpose of Issue	B
		Response /Logistics Description:		
		Minor Amendment: B: Management to Sector 3 as amended		

MBNL

Logo



Design Consultant & Principal Contractor:

Master	MBNL Ref	Project	Purpose of Issue	Issue
M001	MBNL	Project	Purpose of Issue	A
		Response /Logistics Description:		
		First Issue - Site nomination dated 22-07-2020		

Logo



Design Consultant & Principal Contractor:

Master	MBNL Ref	Project	Purpose of Issue	Issue
M001	MBNL	Project	Purpose of Issue	A
		Response /Logistics Description:		
		First Issue - Site nomination dated 22-07-2020		

Logo



Design Consultant & Principal Contractor:

Master	MBNL Ref	Project	Purpose of Issue	Issue
M001	MBNL	Project	Purpose of Issue	A
		Response /Logistics Description:		
		First Issue - Site nomination dated 22-07-2020		

Logo



Design Consultant & Principal Contractor:

Master	MBNL Ref	Project	Purpose of Issue	Issue
M001	MBNL	Project	Purpose of Issue	A
		Response /Logistics Description:		
		First Issue - Site nomination dated 22-07-2020		

Logo



Design Consultant & Principal Contractor:

Master	MBNL Ref	Project	Purpose of Issue	Issue
M001	MBNL	Project	Purpose of Issue	A
		Response /Logistics Description:		
		First Issue - Site nomination dated 22-07-2020		

Logo



Design Consultant & Principal Contractor:

Master	MBNL Ref	Project	Purpose of Issue	Issue
M001	MBNL	Project	Purpose of Issue	A
		Response /Logistics Description:		
		First Issue - Site nomination dated 22-07-2020		

Logo



Design Consultant & Principal Contractor:

Master	MBNL Ref	Project	Purpose of Issue	Issue
M001	MBNL	Project	Purpose of Issue	A
		Response /Logistics Description:		
		First Issue - Site nomination dated 22-07-2020		

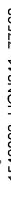
Logo



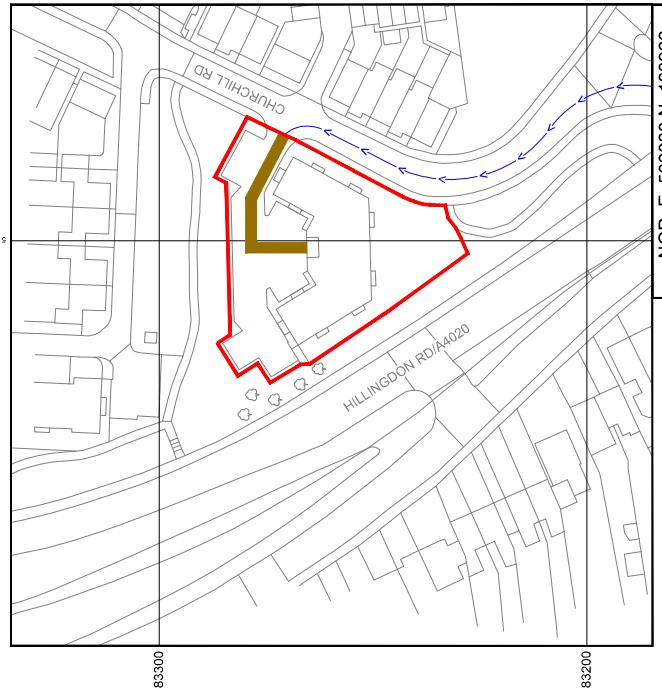
Design Consultant & Principal Contractor:

Master	MBNL Ref	Project	Purpose of Issue	Issue
M001	MBNL	Project	Purpose of Issue	A
		Response /Logistics Description:		
		First Issue - Site nomination dated 22-07-2020		

Logo



Design Consultant & Principal Contractor:



NGR E: 506080 N: 183266

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100035120

SITE LOCATION PLAN



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100035120

SITE AREA PLAN



SITE PHOTOGRAPH

SPITFIRE HOUSE RT
CHURCHILL RD
UXBRIDGE
UB10 0FN

Site Name:

SPITFIRE HOUSE RT

Site ID:

1549003

Address:

SPITFIRE HOUSE RT

Project:

NTQ

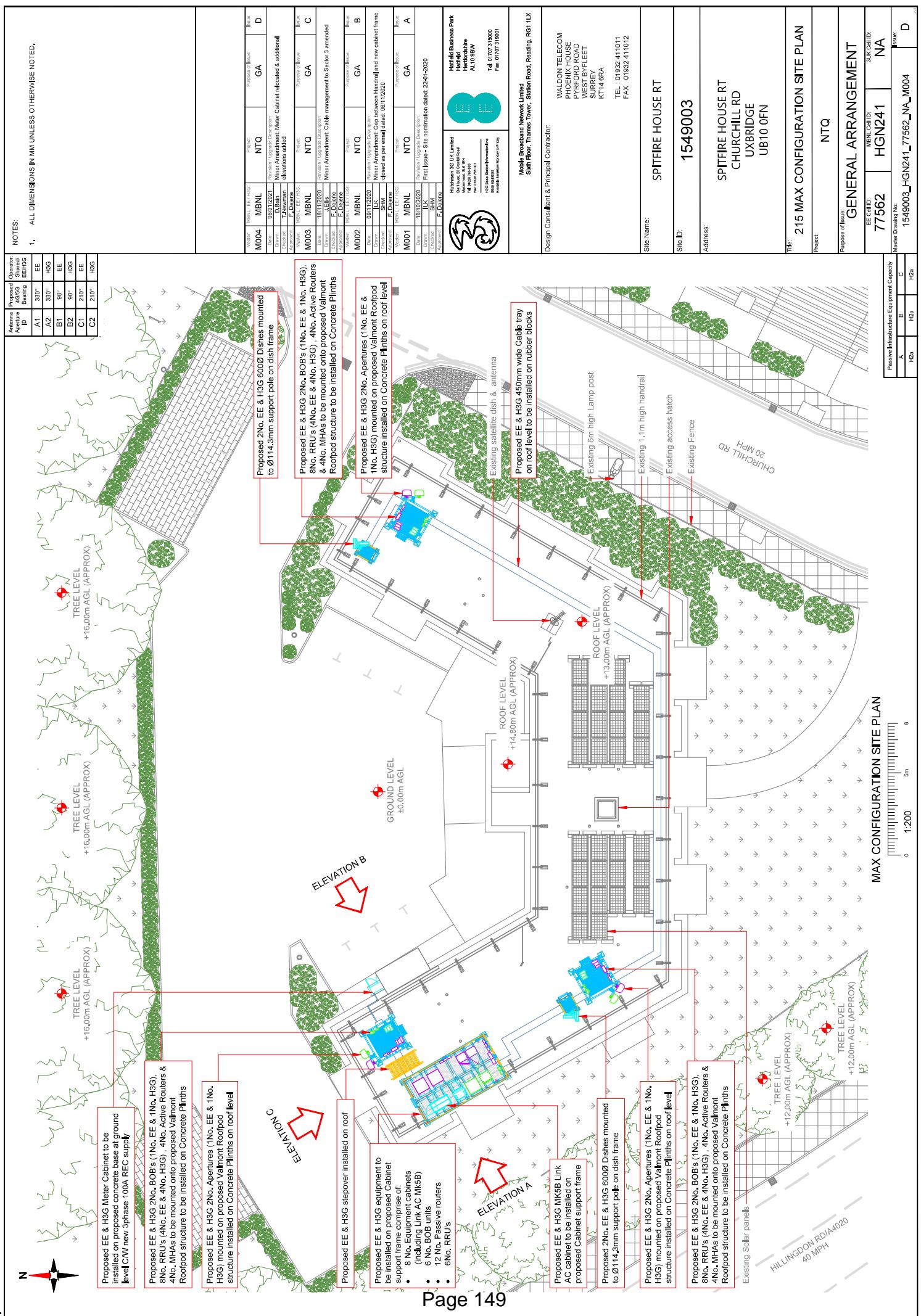


GOOGLE MAPS QR CODE

GOOGLE MAPS - <https://goo.gl/maps/pfZ1GELEf8TQTT89Z6>

GOOGLE STREETVIEW - <https://goo.gl/maps/x97YaqQncvLs15qk9>

SITE LOCATION



NOTE: ALL EQUIPMENTS SHOWN IN RANGE ARE TO BE REMOVED

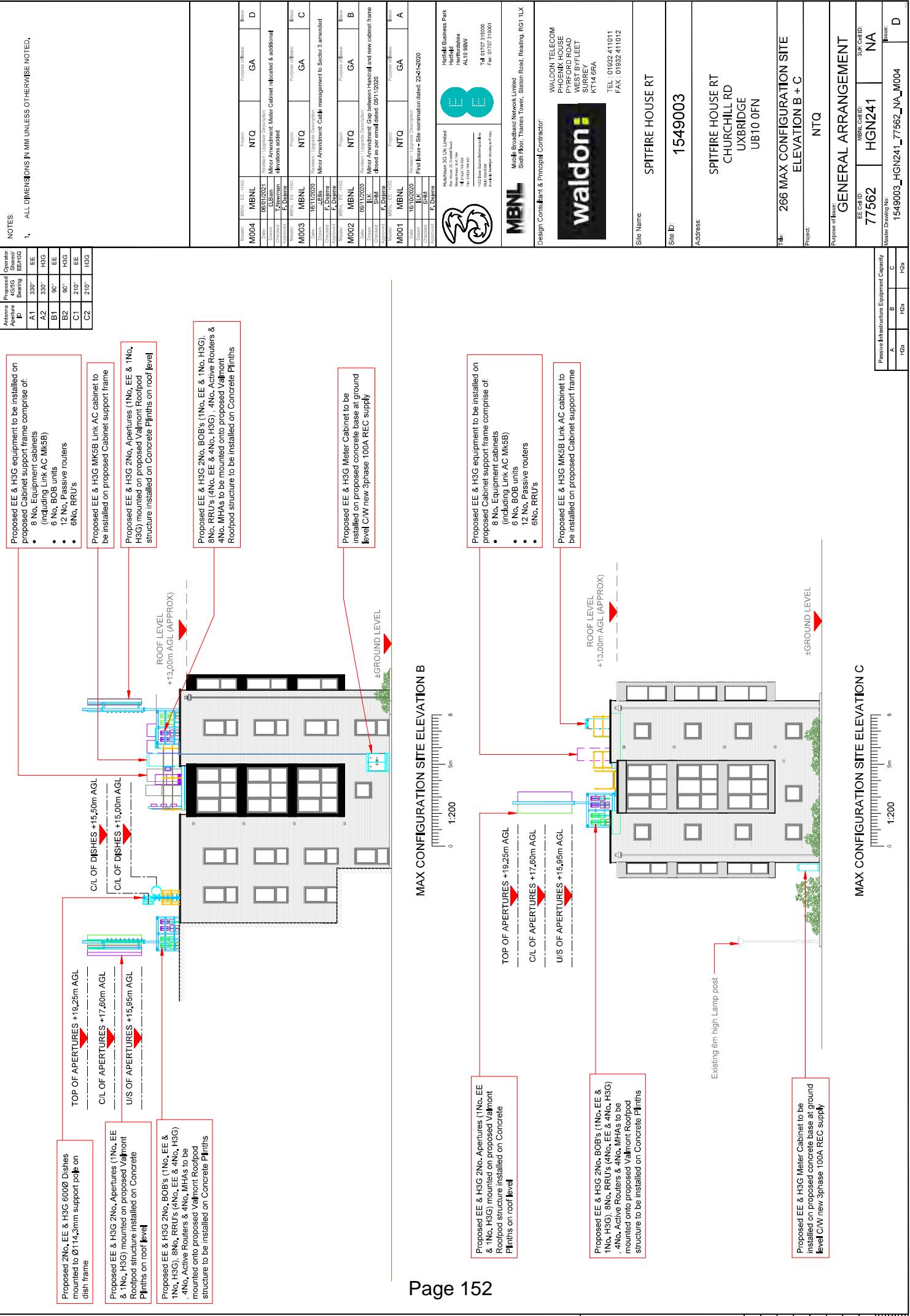
This architectural site plan illustrates the building footprint and surrounding landscape. The building is a two-story structure with a grey brick pattern. The site is bounded by a grey fence on the right and a grey wall on the left. A large, dense cluster of green trees is located in the center-right area. Several level markers are indicated by red arrows:

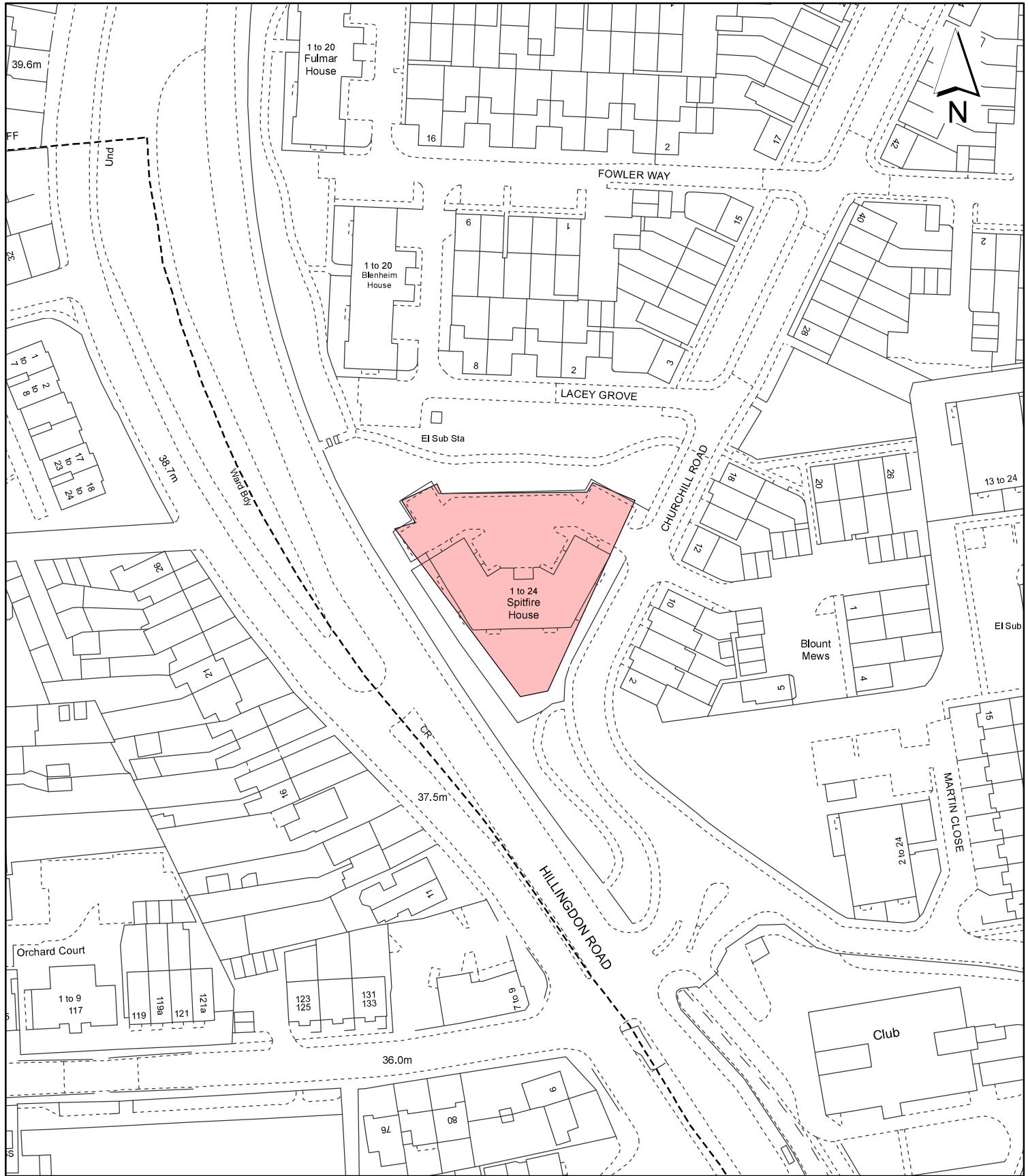
- Existing satellite antenna**: Located on the left side of the building.
- Existing 1.1m high handrail**: Located on the left side of the building.
- ROOF LEVEL**: Indicated by a red arrow pointing to the top of the building's roofline.
- +14.80m AGL (APPROX)**: Indicated by a red arrow pointing to the top of the building's roofline.
- TOP OF PARAPET**: Indicated by a red arrow pointing to the top of the parapet wall.
- +13.65m AGL (APPROX)**: Indicated by a red arrow pointing to the top of the parapet wall.
- TREE LEVEL**: Indicated by a red arrow pointing to the top of the surrounding trees.
- +13.00m AGL (APPROX)**: Indicated by a red arrow pointing to the top of the surrounding trees.
- +16.0m AGL (APPROX)**: Indicated by a red arrow pointing to the top of the surrounding trees.
- +120m AGL (APPROX)**: Indicated by a red arrow pointing to the top of a tall lamp post.
- TREE LEVEL**: Indicated by a red arrow pointing to the top of the surrounding trees.
- Existing 6m high Lamp post**: Located in the center-right area.
- Existing Fence**: Located on the right side of the building.
- GROUND LEVEL**: Indicated by a red arrow pointing to the base of the building.

EXISTING SITE ELEVATION



0 1:200 5m





Notes:

Site boundary

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100019283

Site Address:

**Spitfire House
Churchill Road**

**LONDON BOROUGH
OF HILLINGDON**
Residents Services
Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: 01895 250111

Planning Application Ref:

585/APP/2020/3892

Scale:

1:1,250

Planning Committee:

Central & South 153

Date:

February 2021



HILLINGDON
LONDON

Report of the Head of Planning, Transportation and Regeneration

Address 56B WOOD END GREEN ROAD HAYES MIDDLESEX

Development: Erection of two rear dormer window and 3 front rooflights following full removal of the existing unlawful dormer window

LBH Ref Nos: 54624/APP/2020/4303

Drawing Nos:



Design and Access Statement

*** The property located on quite area at 56b Wood End Green Road, Hayes UB3 2SJ

**** The purpose of the proposal is to adjust Loft has already converted and been issue for enforcement notice, the proposal is to create two small dormor windows to minimize the impact from rear street

*** Both dormer windows under 50 cubic meter.

**** The proposal dormer windows will not be a cause of shadow for both neighbors. Our property and neighbors houses rear windows faces to west-north.

***** The proposed-works- is wholly within-the land belonging to 56b Wood End Green Road, Hayes UB3 2SJ and there will be no overshadowing, visibility, noise, lighting issues, as the proposal will be kept same scan of the street at front.

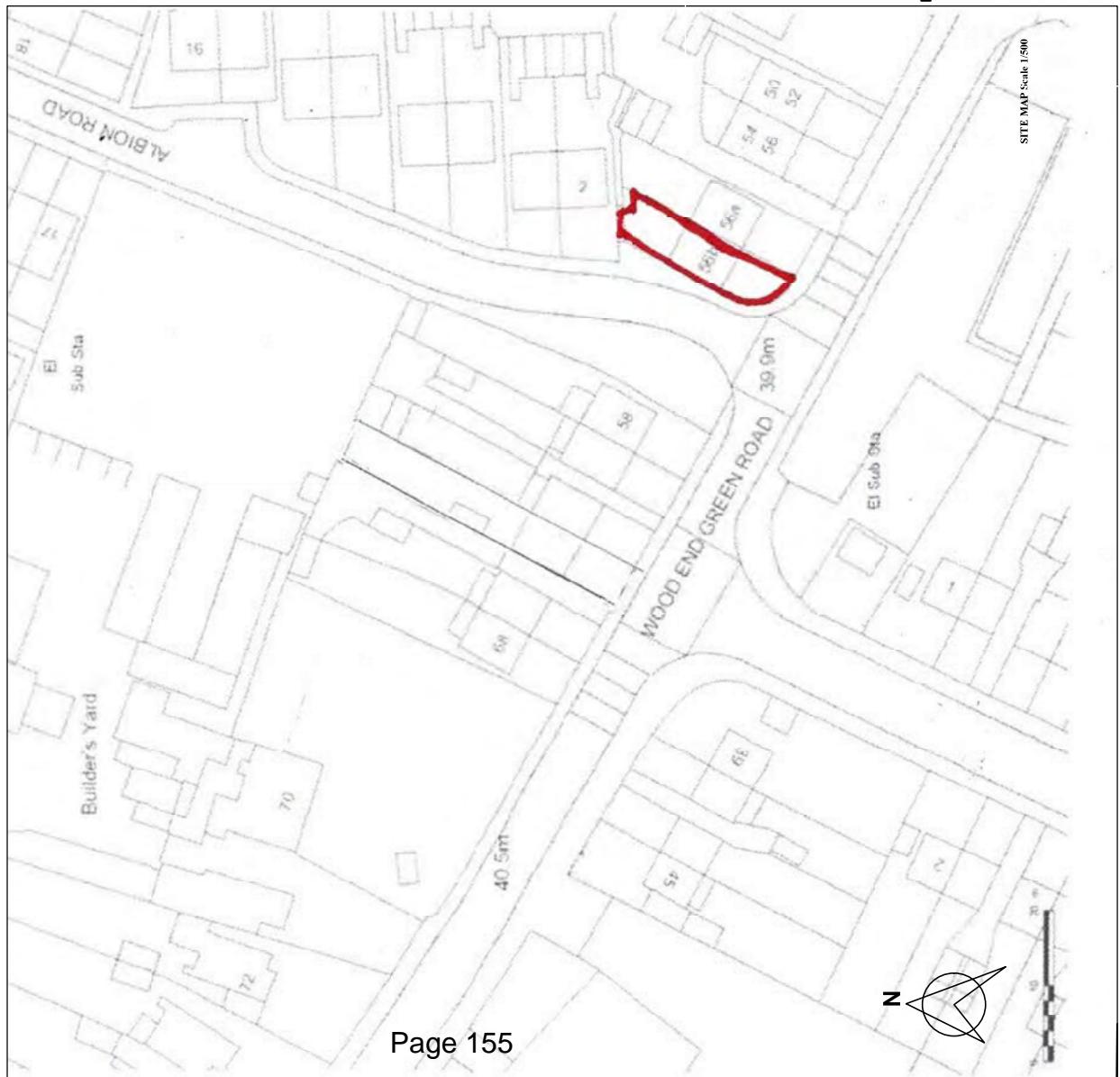
**** The visual impression is designed to match with the existing house by matching all the external finishes such as the brickwork.

***** The proposal does make minimum impact on highway or public route, and does not affect any existing amenities.

***** Crime prevention measure to the scheme, are to accommodate by utilizing the existing house alarm system.

***** All materials specified on the drawings are using traditional materials, brick, timber, windows, glass, flat roof that can be easily repaired by specialized trades. Traditional materials would be more environmentally friendly than plastics.

**** The impact-of-the proposal on the street scene would be minimai, as illustrated on the drawings.



**Unlawful Development
EXIST GROUND FLOOR PLAN**

**Unlawful Development
EXIST FIRST FLOOR PLAN**

**Unlawful Development
EXIST LOFT PLAN**

client
Mr. Owner AL HASHIMI
56b Wood End Green Road
Hayes UB3 2SJ

Project Address
56 Wood End Green Road
Hayes UB3 2SJ

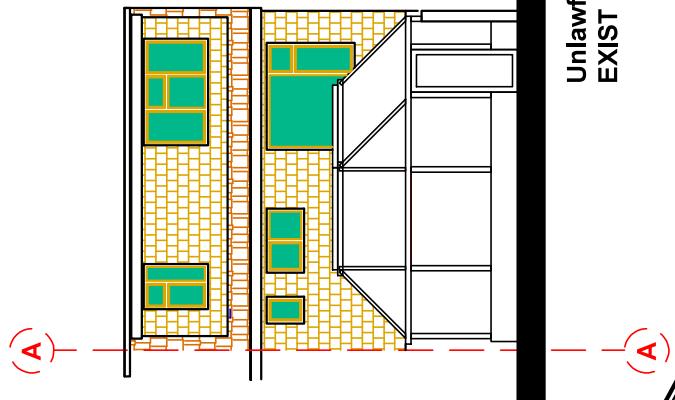
Agent
Safa Alattar
27 Goldhawk Road
Shepherds Bush
London W12 8QQ

Unlawful Development
EXIST ELEVATIONS

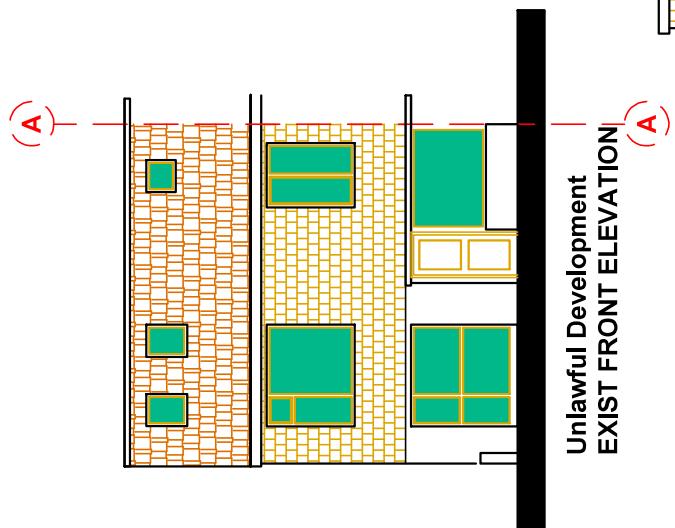
SCALE 1/100

DRW NO 03

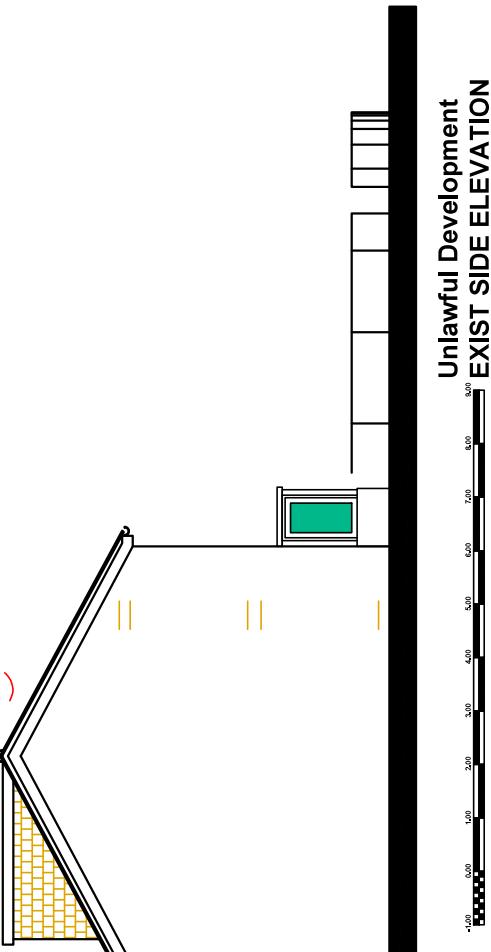
REV A



Unlawful Development
EXIST REAR ELEVATION



Unlawful Development
EXIST FRONT ELEVATION



Unlawful Development
EXIST SIDE ELEVATION

Client: Mr. Omer AL HASHIMI
56b Wood End Green Road
Hayes UB3 2SJ

Project Address: 56b Wood End Green Road
Hayes UB3 2SJ

Agent: Sifa Altnair,
27 Collier Road
Stephens Green
London W12 8QQ

PROPOSED PLANS

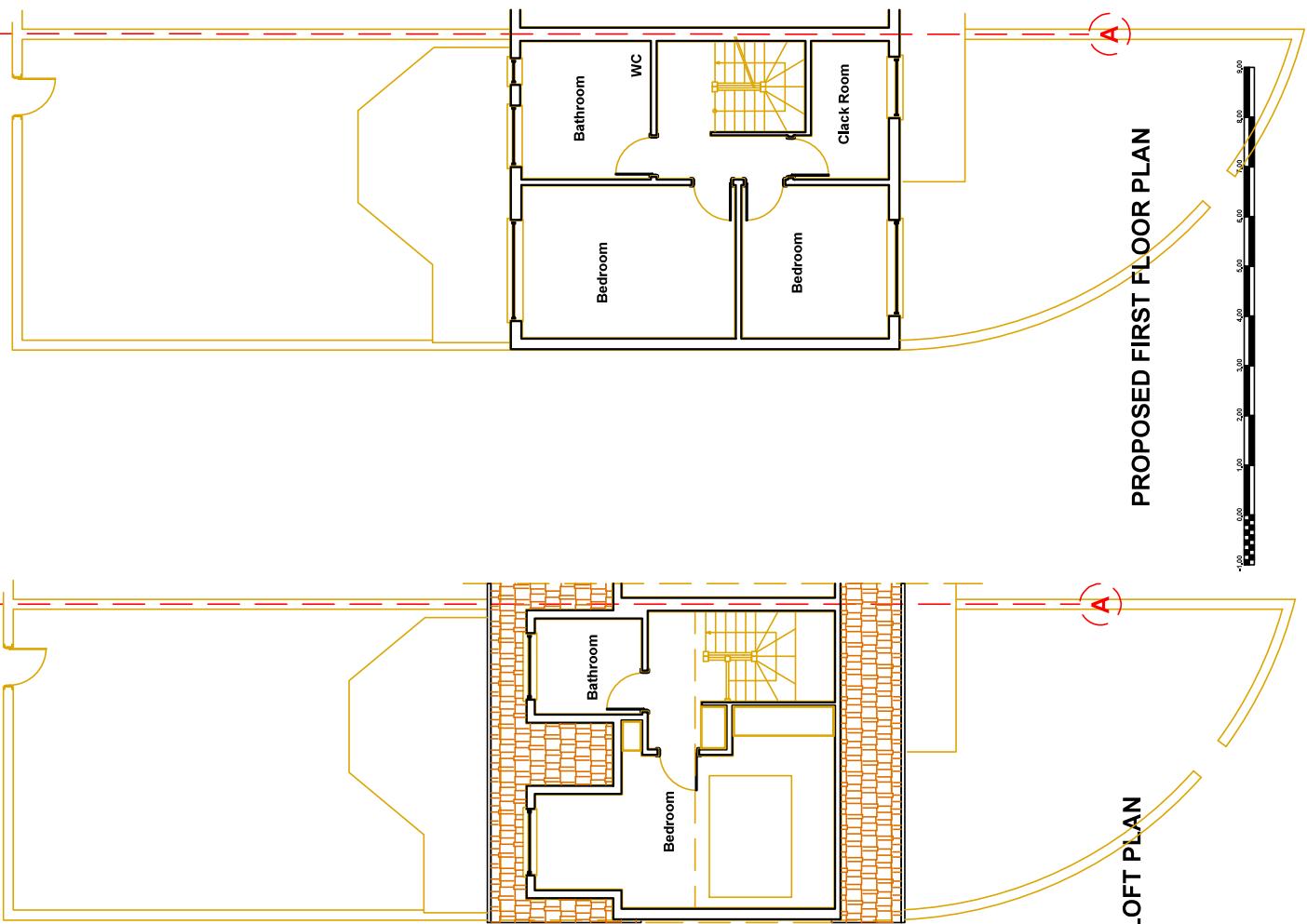
SCALE: 1/100

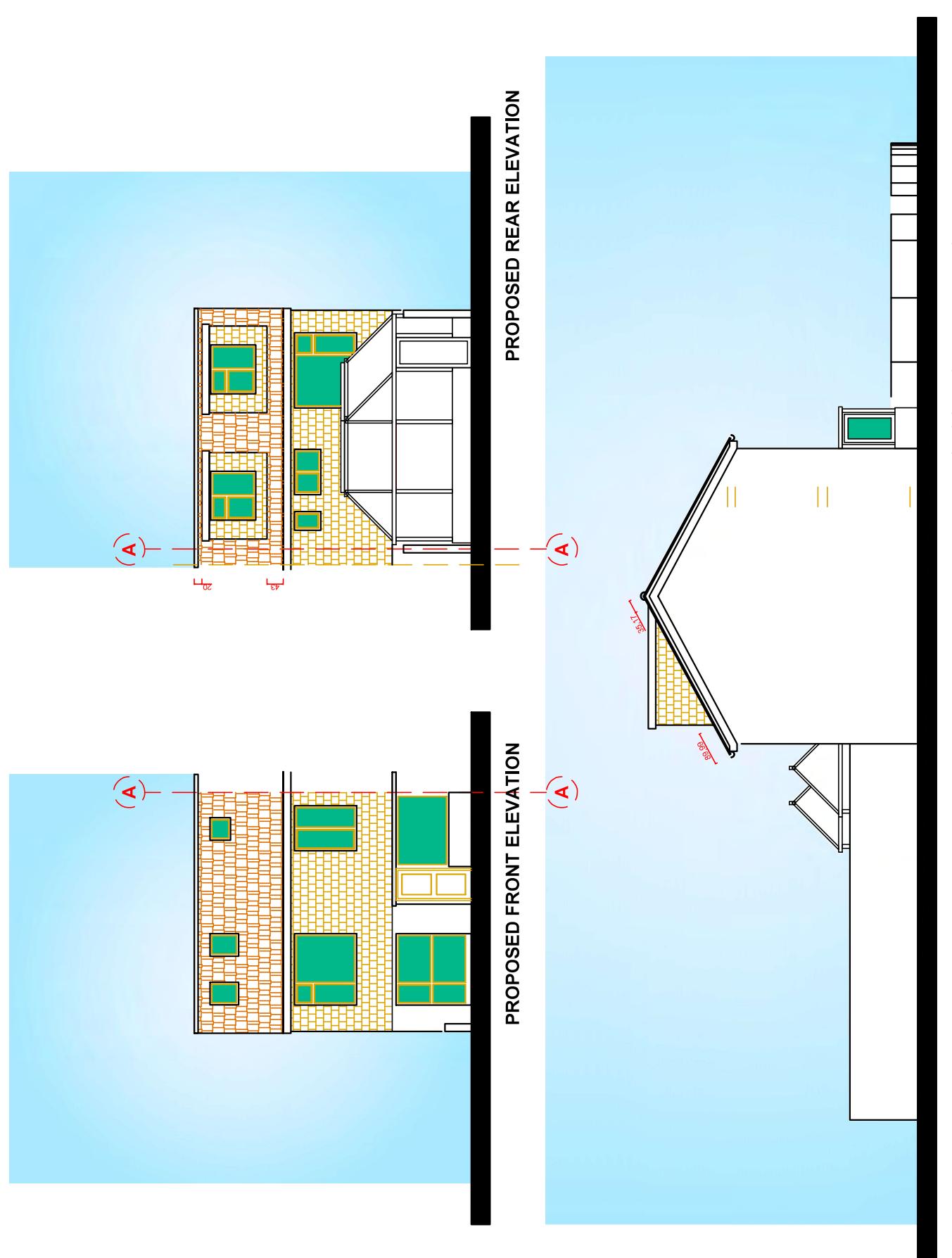
DRAW. NO. 04

REV. A

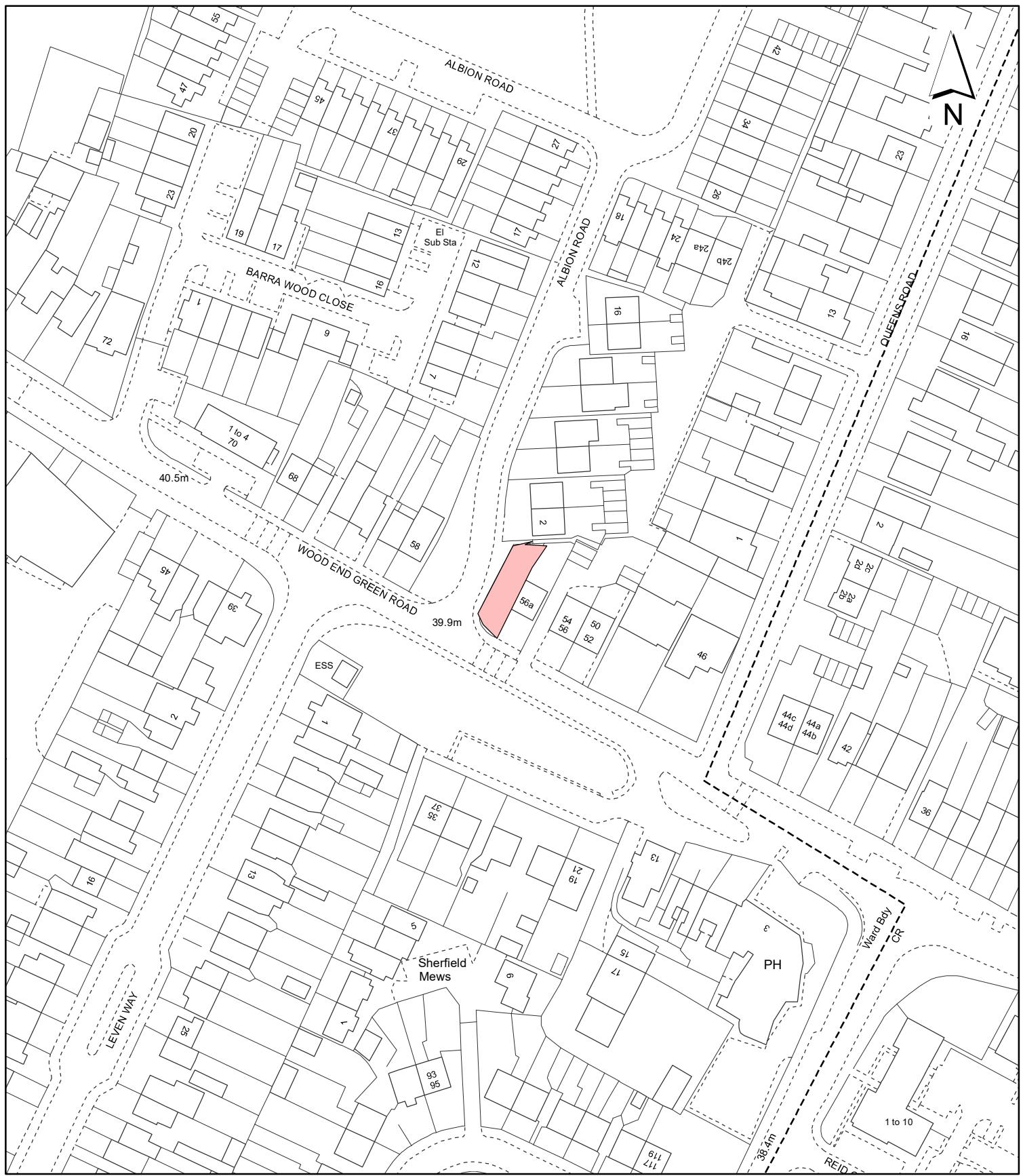
PROPOSED FIRST FLOOR PLAN

PROPOSED LOFT PLAN





client	Mr. Owner AL HASHIMI 56b Wood End Green Road Hayes UB3 2SJ
Project Address	56b Wood End Green Road Hayes UB3 2SJ
Agent	Safa Alattar 27 Goldhawk Road Shepherds Bush London W12 8QQ
PROPOSED ELEVATIONS	
SCALE	1/100
DRAW NO	05
REV	A



Notes:

 Site boundary

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Site Address:

**56B Wood End Green Road
Hayes**

**LONDON BOROUGH
OF HILLINGDON**
Residents Services
Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 01895 250111

Planning Application Ref:

54624/APP/2020/4303

Scale:

1:1,250

Planning Committee:

Central & South

Date:

February 2021



HILLINGDON
LONDON

Report of the Head of Planning, Transportation and Regeneration

Address HAYES PARK HAYES END ROAD HAYES

Development: Internal office refurbishment of Hayes Park Central and South including removal of the non-original partitions, re-instatement of the South Building's reflecting pool and refurbished entrances. External elevation and roof refurbishment of both buildings including cleaning and repair works, replacement of non-original glazed double doors and other works to the South building's glazed curtain wall system (Application for Listed Building Consent)

LBH Ref Nos: 12853/APP/2020/2980

Drawing Nos:

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Key Plan:

CDM:
Risks

Notes:

Ownership Line
Development Line
Stage 1 & Application for Listed
Building Consent

Area of OS Map shown within simulated
square boundary

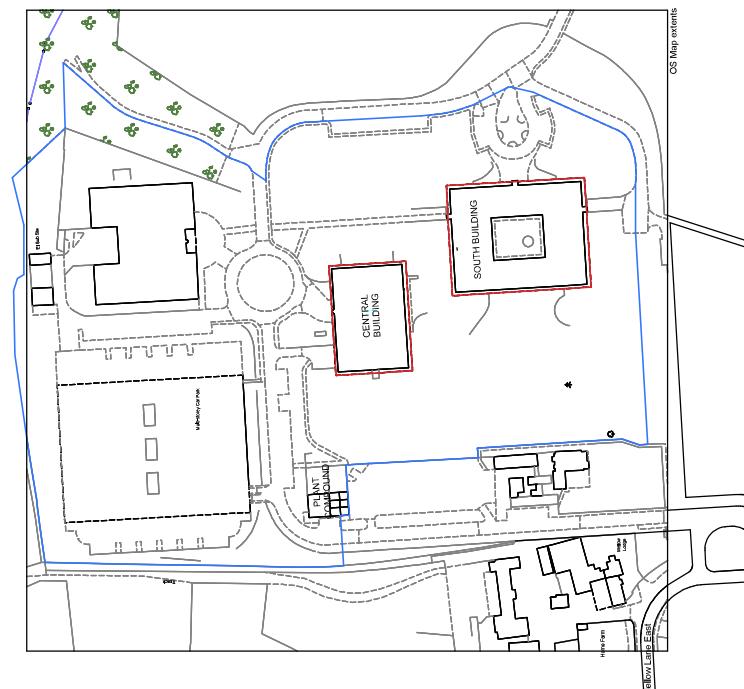
PO1	21/08/20	Draft Planning Issue
PO2	04/09/20	Final Draft Planning Issue
PO3	11/09/20	Planning Issue
Rev. Date		Description

Notes to
PL + PLANNING

1 Chancery Lane	Project No.
52-54 Chancery Road	2174
EC1V 1HQ	
020 7236 2000	
www.orms.co.uk	
orms@orms.co.uk	
Project	
Hayes Business Park	

Orms

1 Chancery Lane
52-54 Chancery Road
EC1V 1HQ
020 7236 2000
www.orms.co.uk
orms@orms.co.uk
Project
Hayes Business Park
Drawing number
HBP-ORM-22-00-DR-A-12001
Scale 1:1250
Date 10/09/2020
Rev. 03
Drawing date
10/09/2020
Drawing number
HBP-ORM-22-00-DR-A-12001
Scale 1:1250
Date 10/09/2020
Rev. 03
Drawing date
10/09/2020



1:00 - Planning - Existing - Location Plan
Scale 1:1250

Do not scale. All dimensions to be confirmed on site.
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to be reproduced without permission.

Key Plan:

CDM:



Notes:

Please note: all walls, existing internal walls,
stairs, floors, ceiling and features are non-
existing unless specifically noted.

PO1-1149.00 Planning Issue

Rev. Date

Description

Issue to:

PL + PLANNING

Ref. No:

Orms

1 Chancery Lane

52-54 Chancery Road

EC4M 1HS

020 7236 2200

www.orms.co.uk

email@orms.co.uk

Project No:

2174

1:100

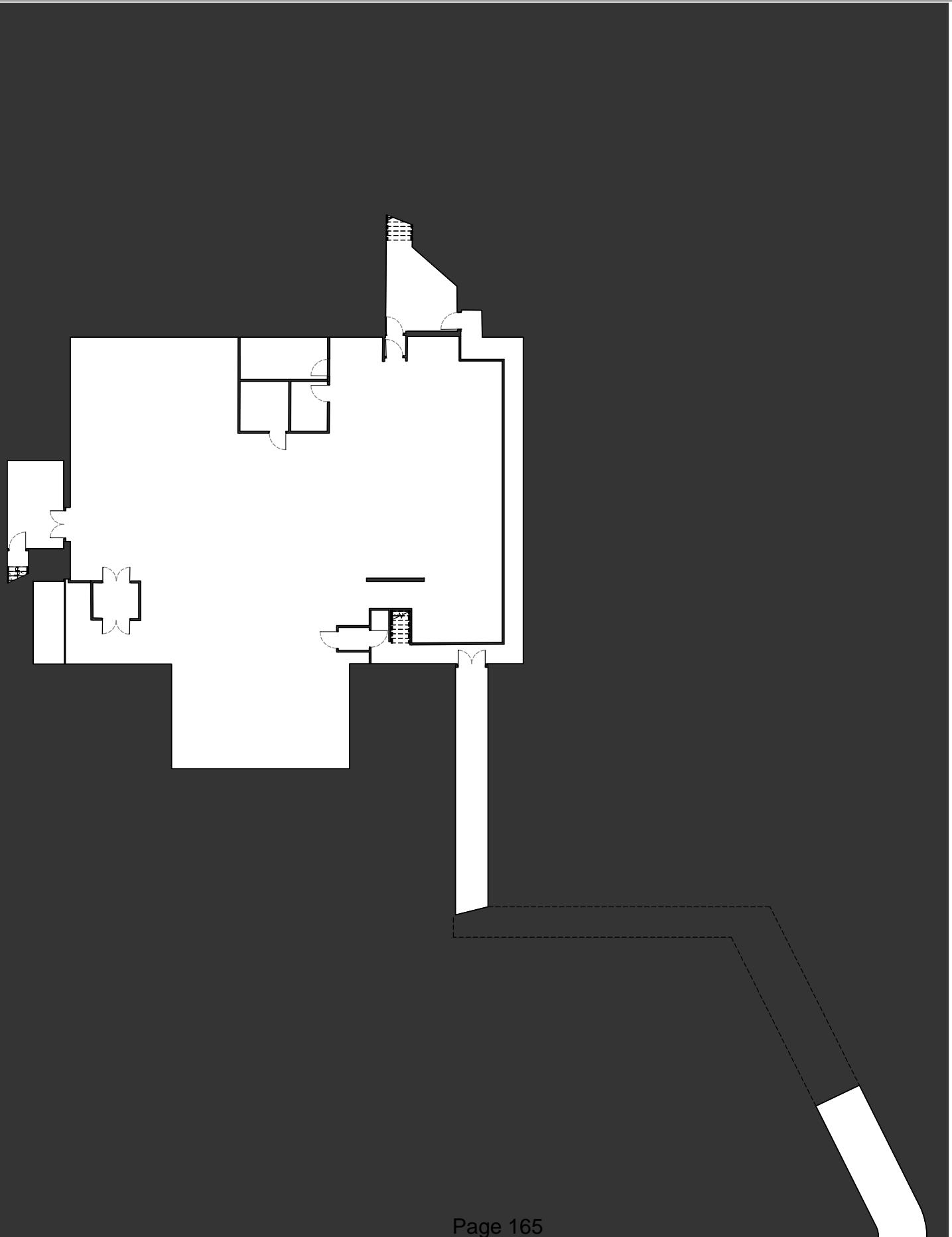
Drawing Number:

1149

Rev.:

12129

Page 165



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Key Plan:

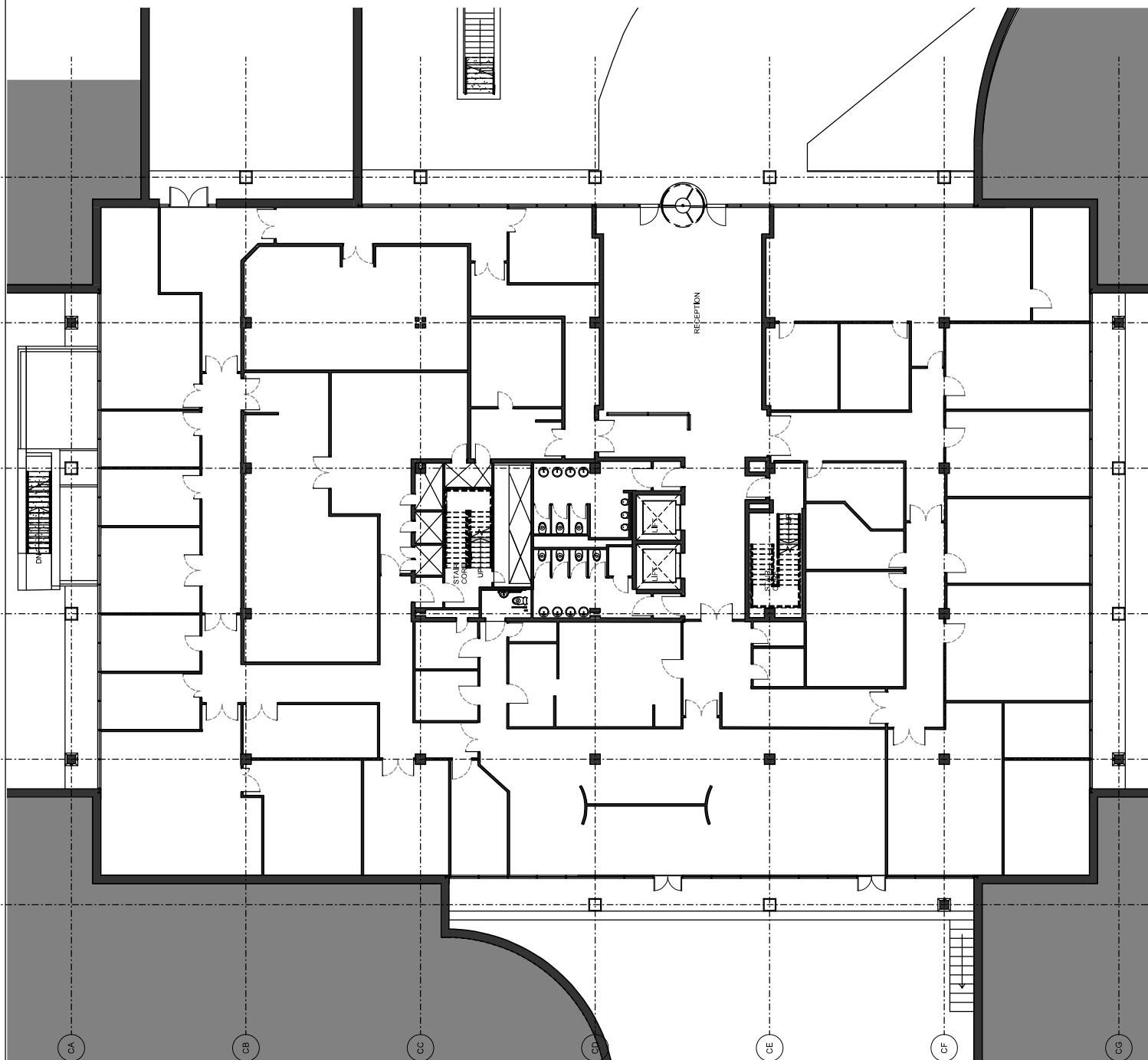
CDM:
Risks

Notes:
Please note: all walls, existing internal walls,
stair, floors, ceiling and features are non-
existing unless specifically noted.

POI: 1148.00 Planning Issue
Rev. Date: Description
Issue to:
PL + PLANNING

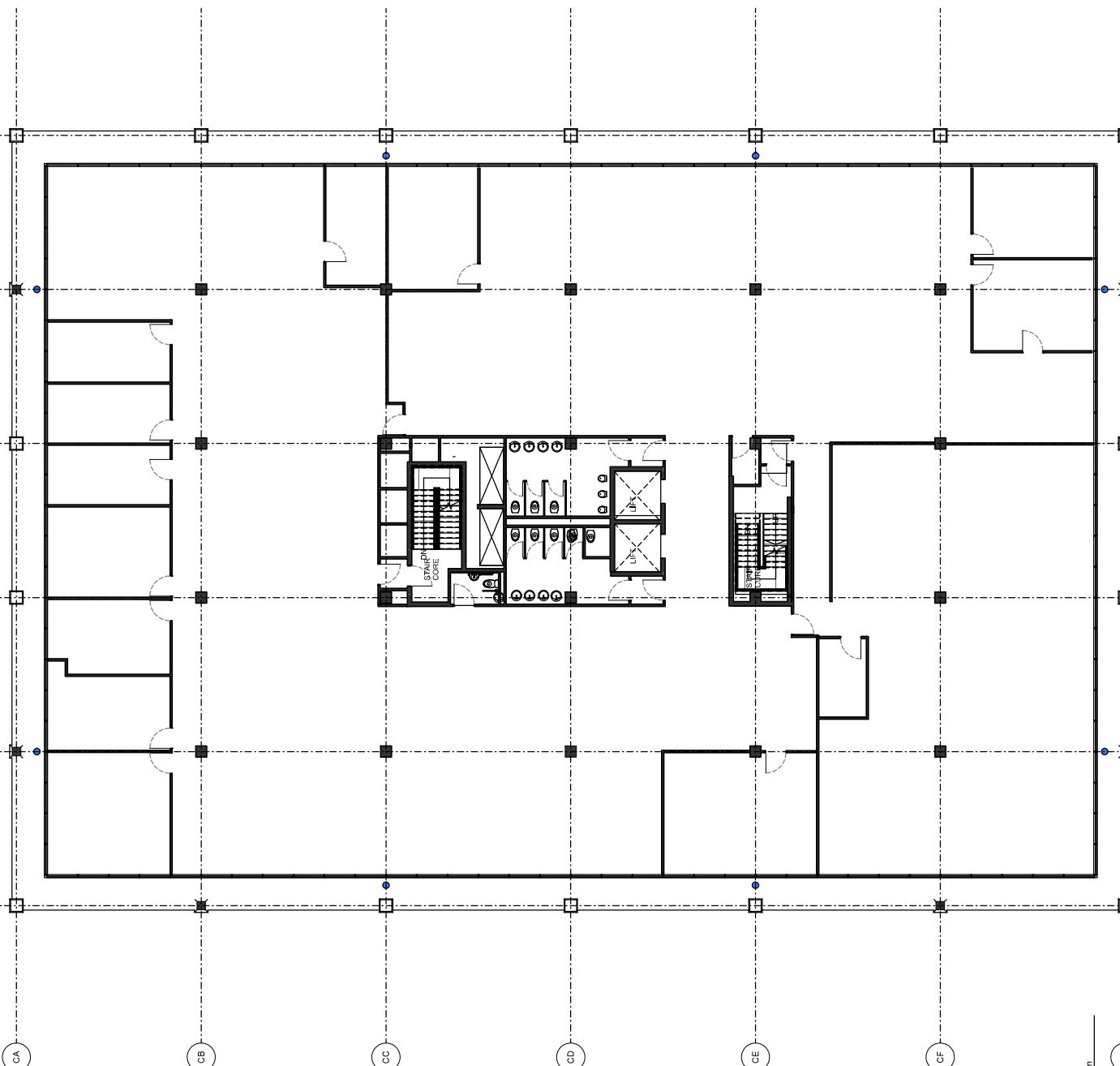
Orms
1 Chancery Lane
52-54 Chancery Lane
EC4M 1HG
020 7234 0000
www.orms.co.uk
email: info@orms.co.uk
Project: Hayes Business Park

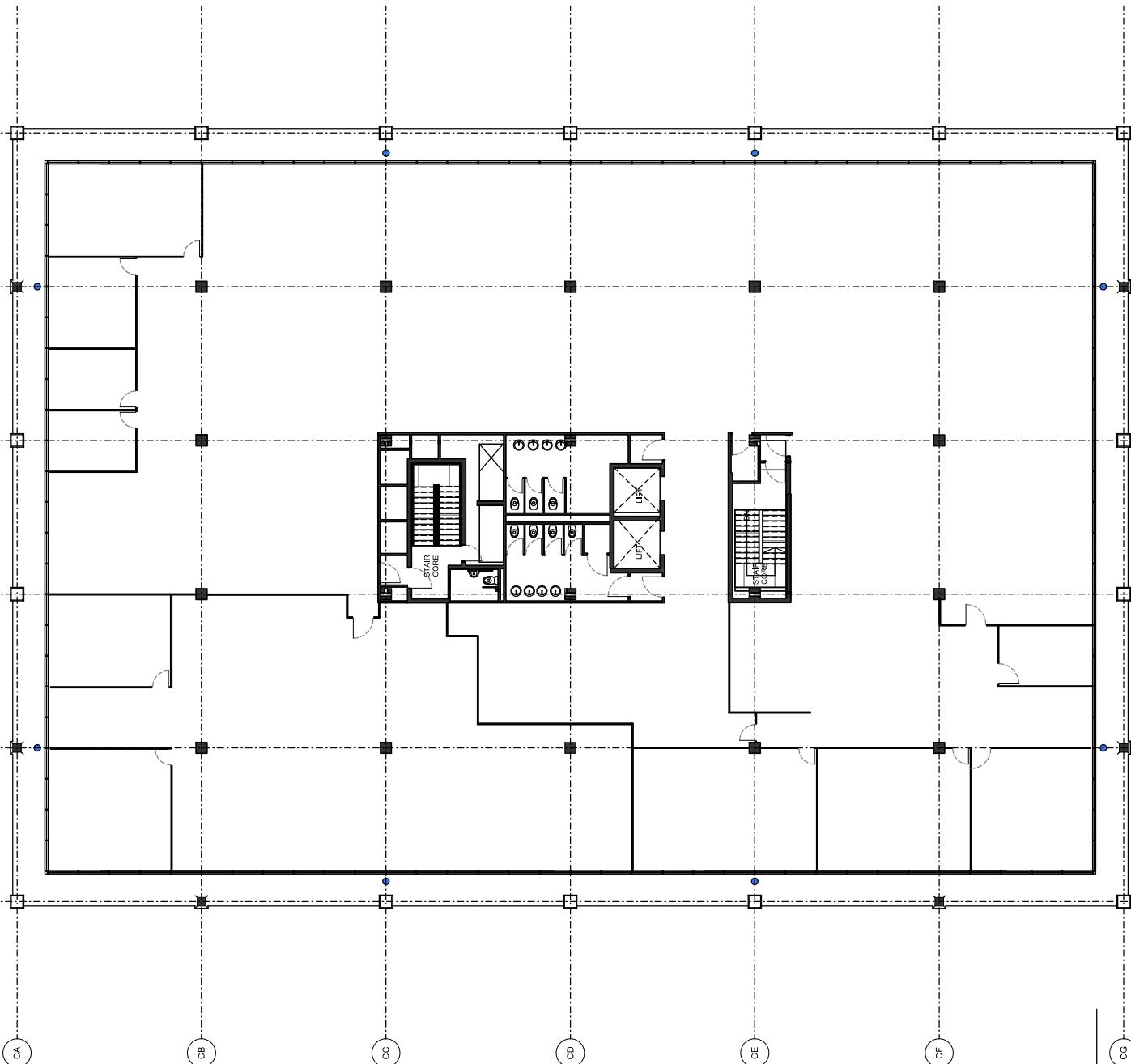
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Rev: 1
Scale: 1:100
Drawing Number: HBP-ORM-22-00 DR-A-12120
Drawing Title: Hayes Business Park - Central Building
Ground Floor Plan
Date: 11/04/2014
Page: 1 of 1



Please note: all walls, existing internal walls,
 stairs, floors, ceiling, ducting and fixtures are non-
 original unless specifically indicated.

• Approximate position of unwater drainage
 outlet:
 On typical floors. Existing drainage positions to be
 reviewed with replacement drainage system.
 A new drainage system will be installed in the
 position indicated. There is no provision
 for drainage, new drainage and associated
 opening, pipework access from below to be
 provided. All existing drainage outlets on
 Central Building Roof to be confirmed. Assumed
 positions shown only.





Please note all ~~walls~~ existing internal walls,
state ~~floor~~ ceiling, cutting and features are non-
existing unless specifically noted.

Approximate position of sampler drainage
locations. Existing drainage position to be
checked with ~~existing~~ assumed drainage system.
At roof level assumed drainage
provision. If there is no existing
provision, there is no drainage
opening. If access from ~~below~~ is to be
added, ~~existing~~ drainage outlet is on
the ~~existing~~ floor. All existing drainage outlets on
the ~~existing~~ floor are to be confirmed. Assumed
positions shown only.

PO	Issue	Planning	Rev. Date	Description
PL-1149.00				PL + PLANNING

Issue to:

As Indicated

Drawings Number:

12123

Project No:

HBP-ORM-22-03

Rev.:

2174

Drawings Author:

Hayes Business Park

Drawing Title:

Planning - Central Building

Roof Plan

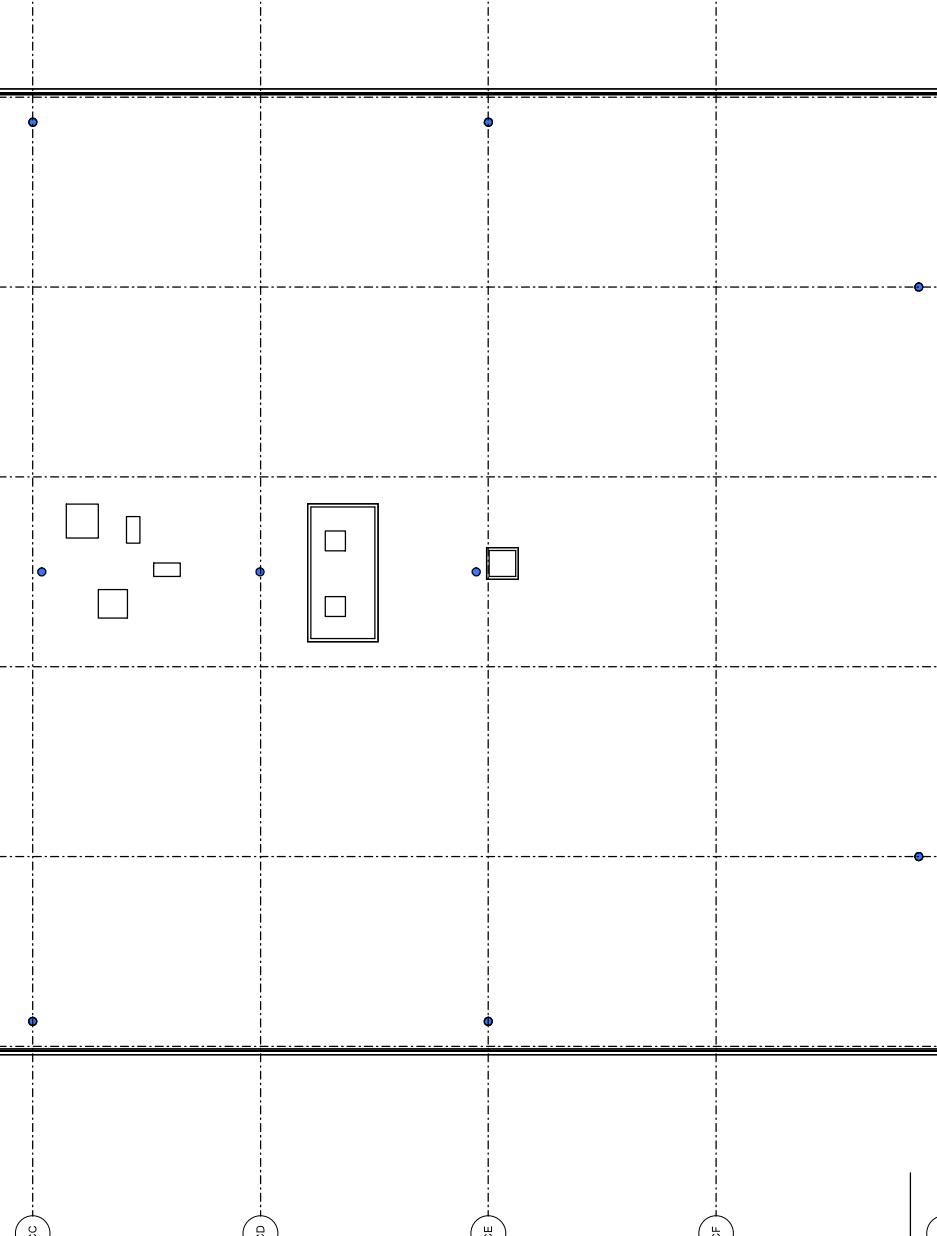
Scale:

1:100

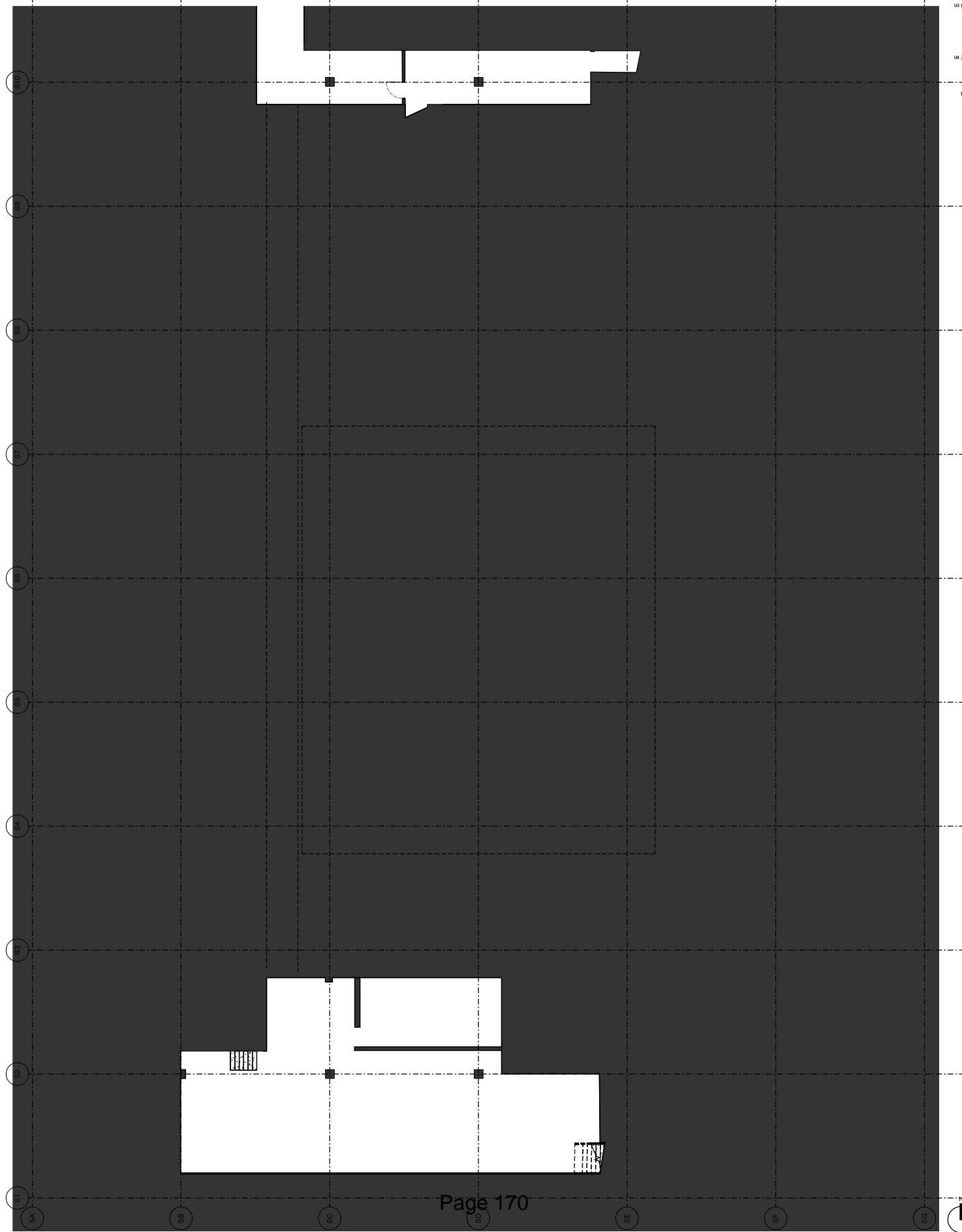
Page:

1

Z



PO1	11/08/20	Planning Issue
PO2	13/11/20	Planning Response D1 Issue
PO3	20/11/20	Planning Response D1 Issue
Rev. Date		Description



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Key Plan:

CDM:
Risks

Notes:
Please note: all walls, existing internal walls,
stair, hoisting, ceiling and features are non-
existing unless specifically noted.

POI: 1148.00 Planning Issue

Rev. Date

PL + PLANNING

Description

Issue to:

Orms

1 Chancery Lane
52-54 Chancery Lane
EC4M 1HS
020 7236 3300
www.orms.co.uk
enquiry@orms.co.uk

Project No:

2174

Rev.:

1:100

Drawing Number:

HBPO-ORM-22-00-DR-A-12110

Page No:

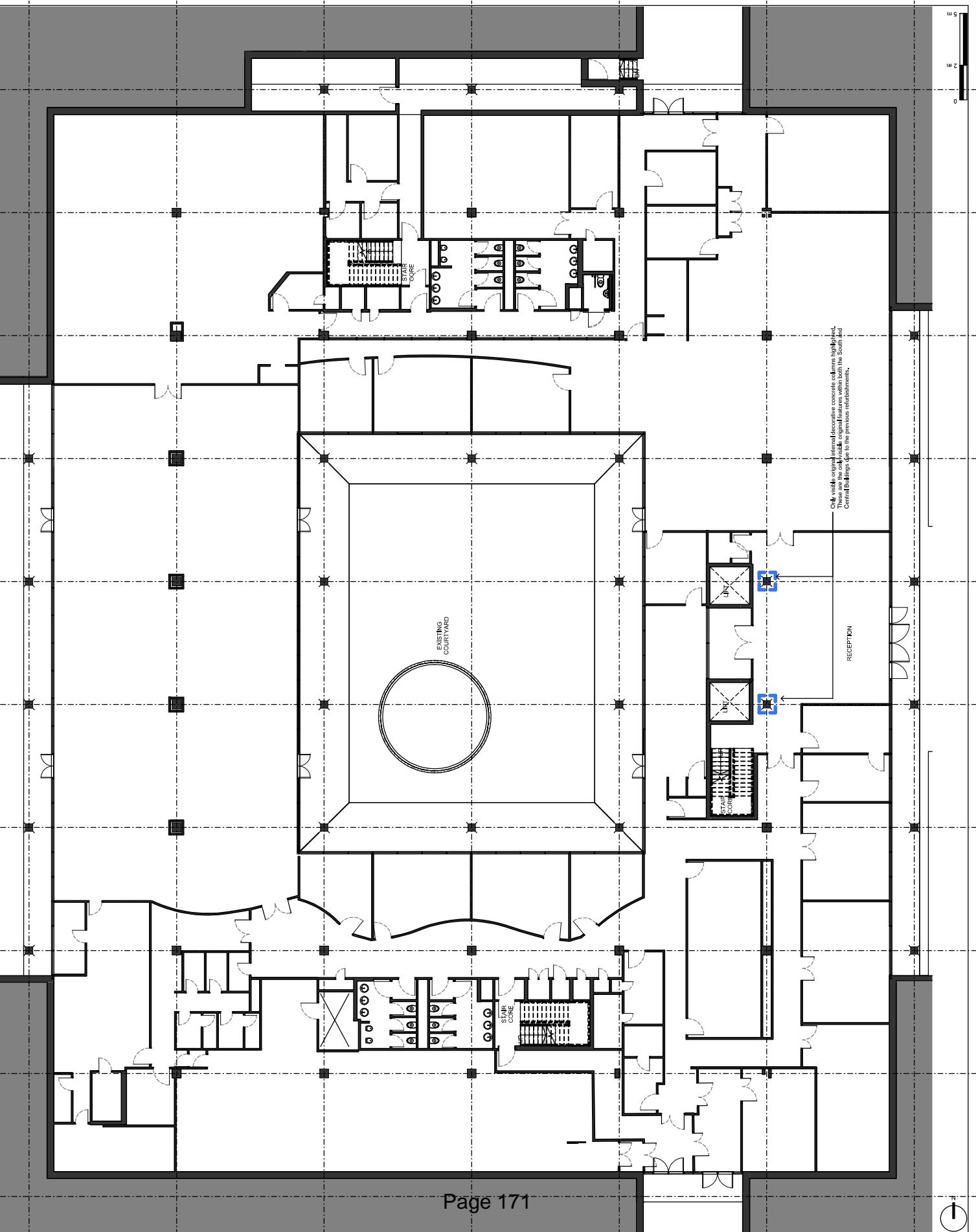
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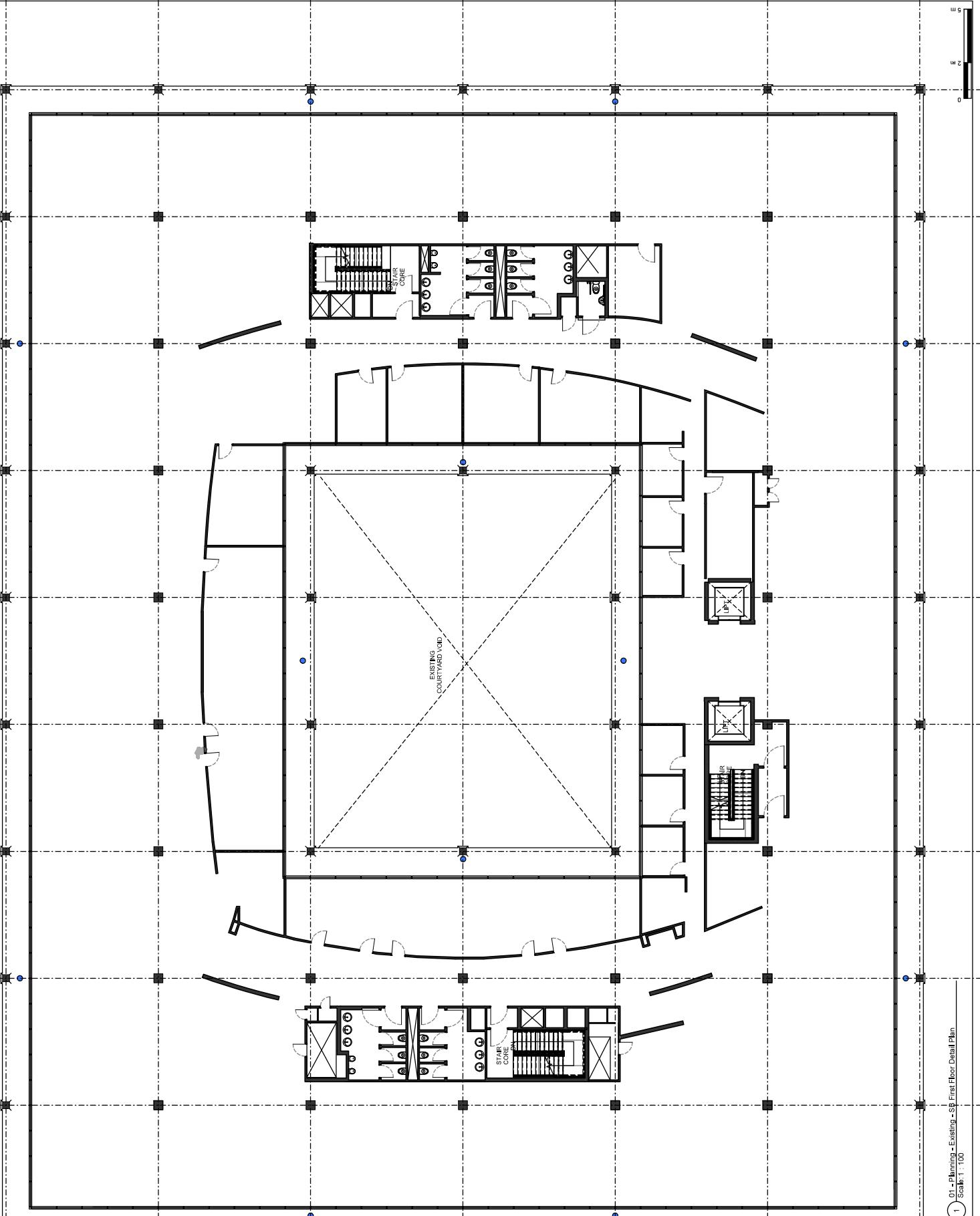
Sheet No:

1

Date:

Page 171





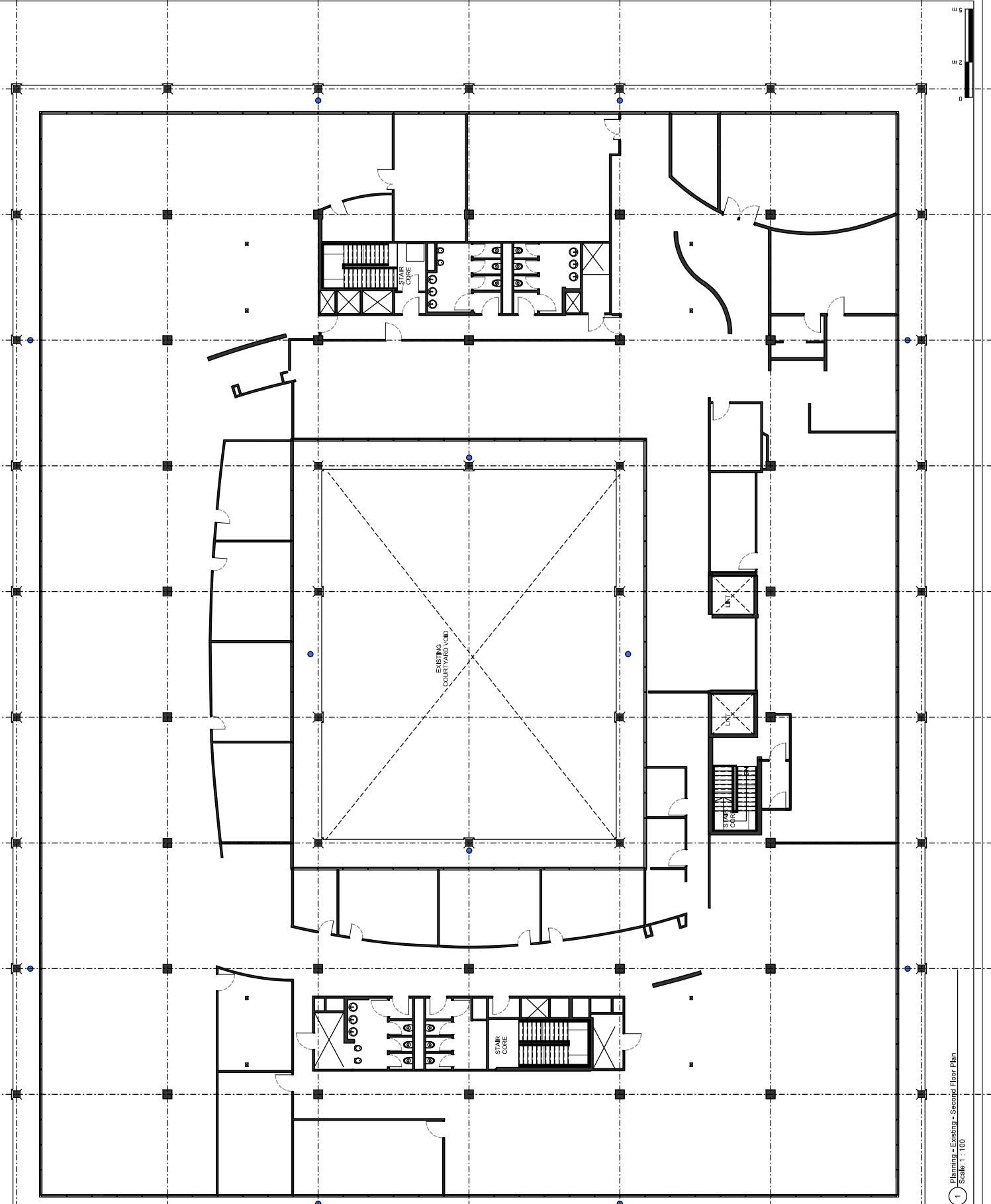
Notes:
Please note: all vessels, existing internal walls,
staircases, floors, ceiling and features are non-
existing unless specifically noted.

Approximate position of rainwater drainage
outlets. Existing drainage position to be
assumed unless otherwise indicated.
At roof level, assumed existing drainage system.
At ground level, existing drainage system.
If there is no existing drainage provision
for drainage, new drainage and associated
outlets will be required. Details to be added
as required. Please note: All existing drainage outlets on
Control Building Roof to be confirmed. Assumed
positions shown only.

PO: 1149.00 Planning Issue
Rev. Date: PL + PLANNING
Issue to: Description

Orms
1 Chancery Lane
52-54 Chancery Lane
EC4Y 1HQ
020 7235 0000
www.orms.co.uk
Email: info@orms.co.uk
Project: Hayes Business Park

Project No: 2174
Rev: 01
HBP-ORM-22-02-DR-A-12112
Drawing Number: HBP-ORM-22-02-DR-A-12112
Scale: 1:100
1 Planning - Existing - Second Floor Plan
As Indicated



CDM:
Risks

Notes:

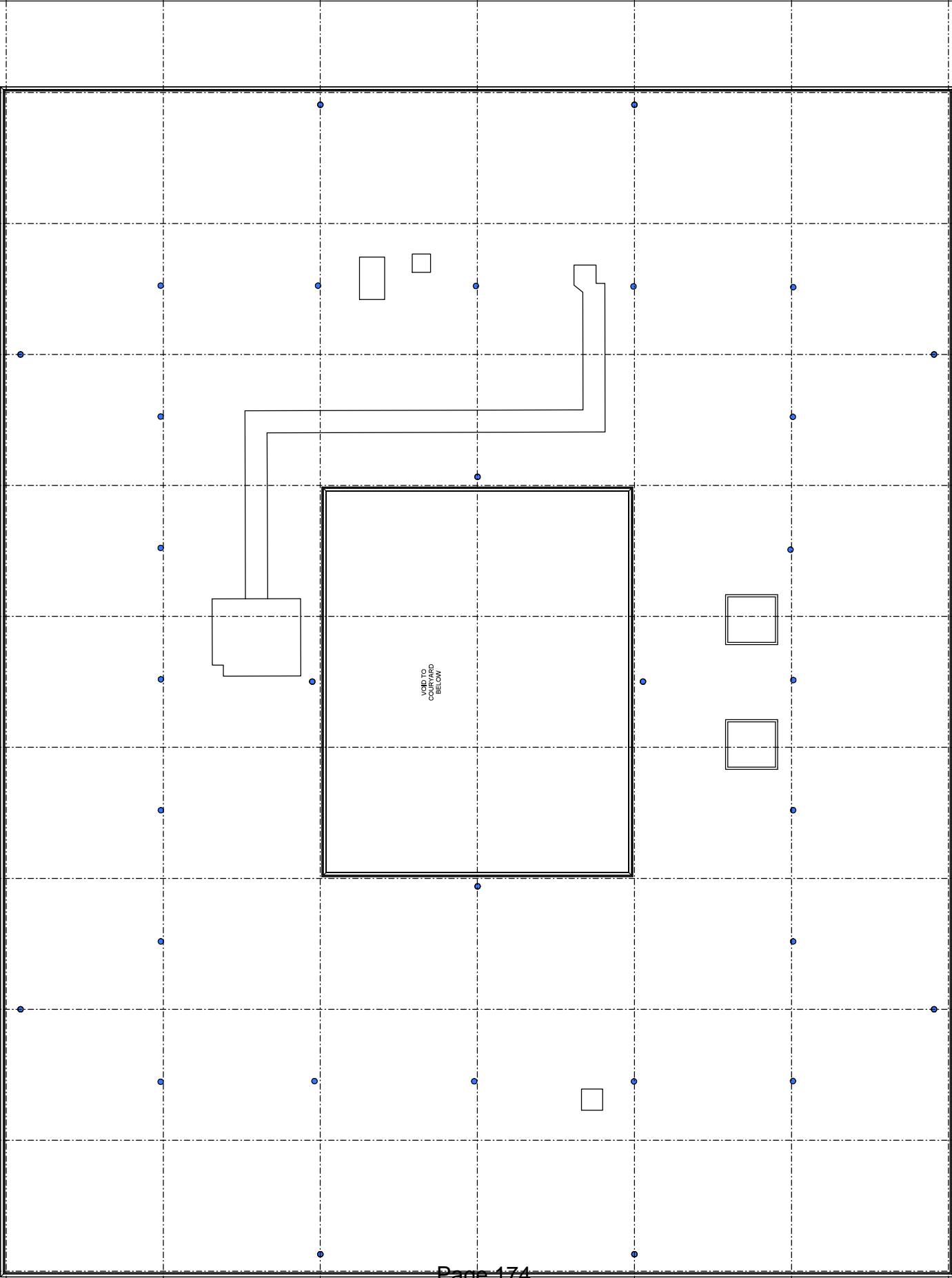
Please note: all walls, existing internal walls,
staircases, floors, ceiling and fixtures are non-
existing unless specifically noted.

Approximate position of rainwater drainage
On Plan 1000 Existing drainage position to be
reduced with replacement drainage system.
At roof level assumed existing drainage
position position. There is no existing drainage
provision for the proposed extension. A new
opening for pipes access from the roof will be
added. Please note: All existing drainage outlets on
the plan are to be removed. Assumed
positions shown on.

PO: 1148.00 Planning Issue
Rev. Date Description
Issue to:
PL • PLANNING

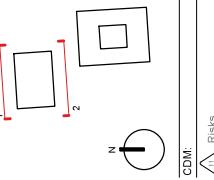
Orms
1 Chancery Lane
52-54 Chancery Lane
EC4M 1HG
020 7236 0000
www.orms.co.uk
Email: info@orms.co.uk
Project: Hayes Business Park
Drawing Ref: HBP-ORM-22-03-DR-A-12113
Scale: 1:100
1 RF = Planning - Existing - SE Root Detail Plan

Project No:
2174
Drawing Ref:
HBP-ORM-22-03-DR-A-12113
Scale: 1:100
1 RF = Planning - Existing - SE Root Detail Plan



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Key Plan:



Notes:

POI	Issue	Rev.	Date	Description
PL	PLANNING			

Issue No:

Rev. No:

Date:

Description:

Scale: 1:100

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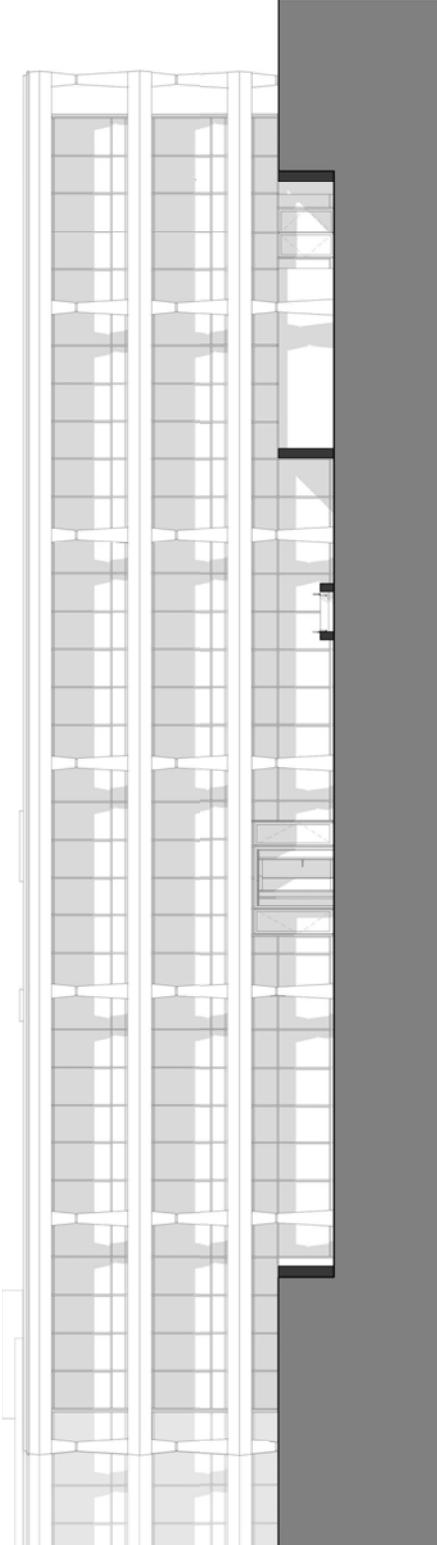
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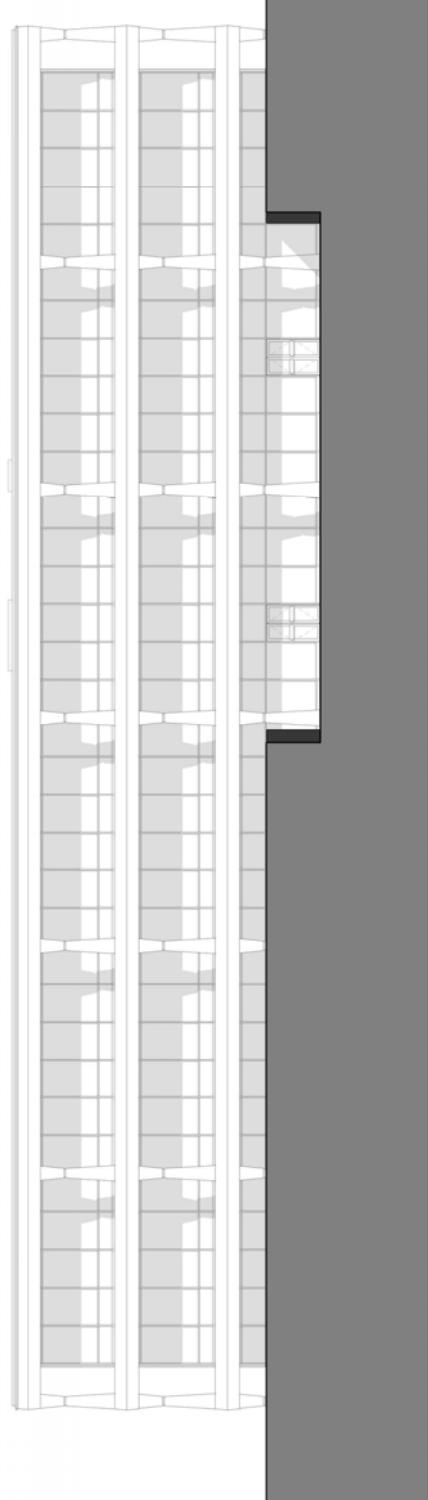
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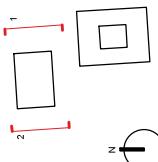
1 1250S - Existing - Detail North Elevation - Central Building
Scale 1:100



2 1250S - Existing - Detail South Elevation - Central Building
Scale 1:100

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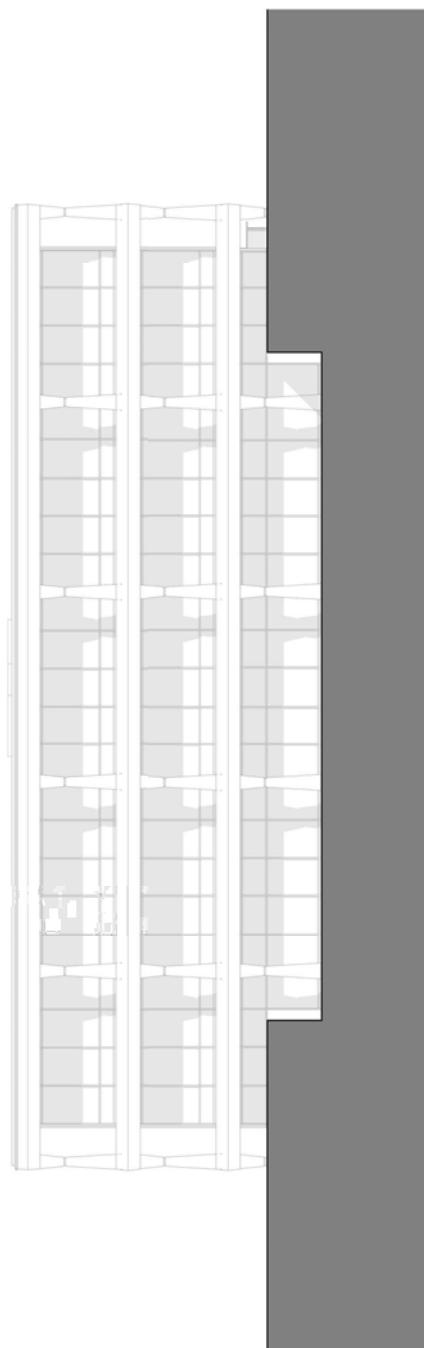
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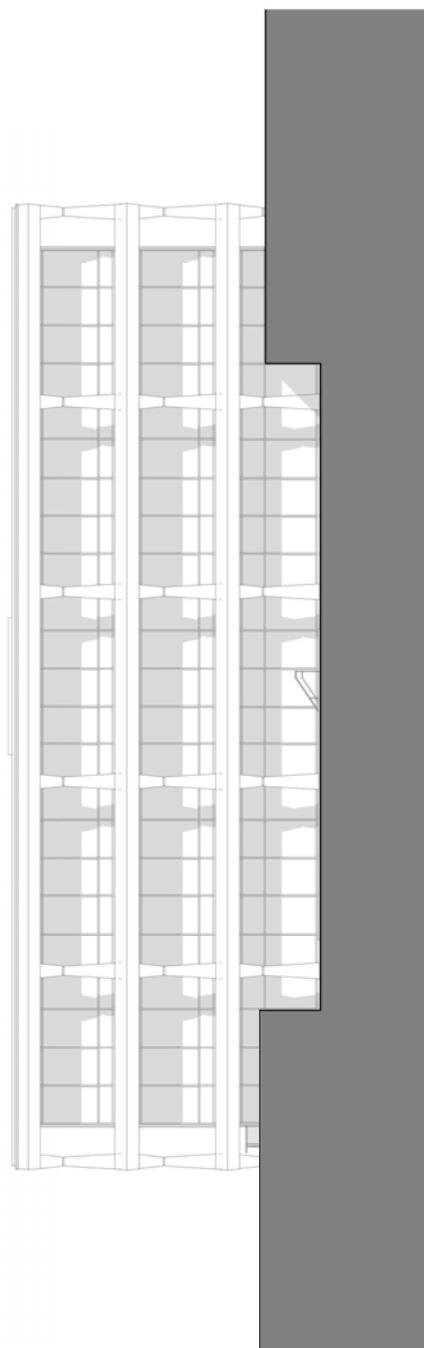
CDM:
Risks

Notes:

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Rev. Date	Description
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Project No:	
Orms	
1 Chancery Lane	
52-54 Chancery Road	
EC1V 9HQ	
London, UK	
020 7235 3000	
orms.co.uk	
Email: info@orms.co.uk	
Fax: 020 7235 3001	
Project Name:	
Drawing Number:	
Scale:	
Drawing Date:	
Rev.:	
Orms Business Park	
Orms Group	
Planning	
Building - Detailed Elevation	
Central Building Detail Elevation 02	
Project No:	
2174	
Scale:	
1:100	
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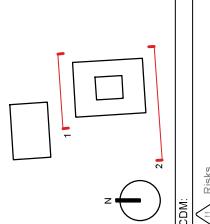


1 12506 - Existing - Detail East Elevation - Central Building
Scale 1:100



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1011



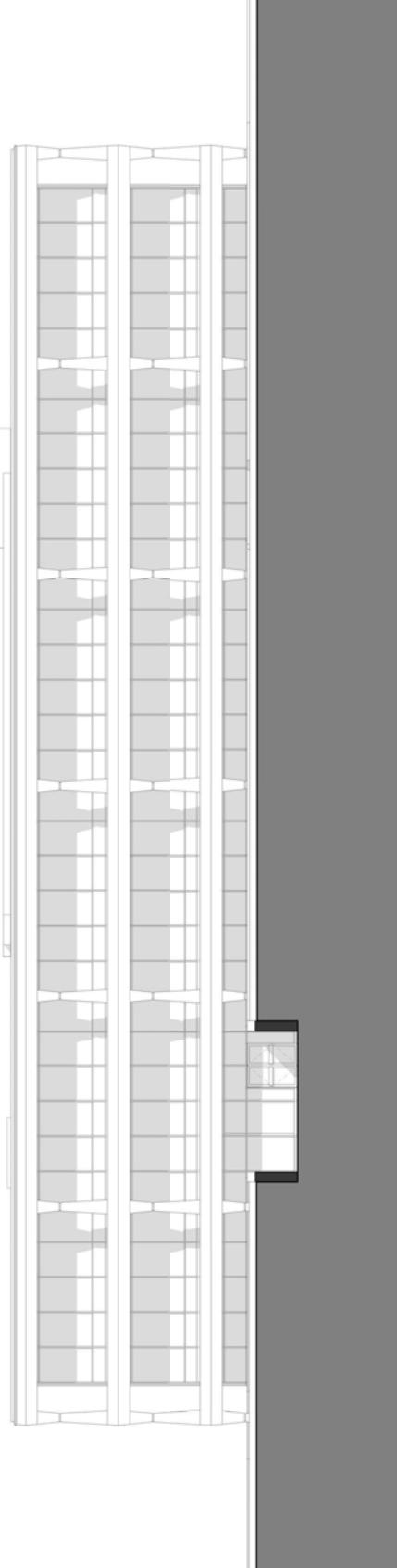
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Rev.	Date	Description
001	11.09.20	Planning Issue
002	13.11.20	Planning Response 01 Issue
003	20.11.20	Planning Response 01 Issue

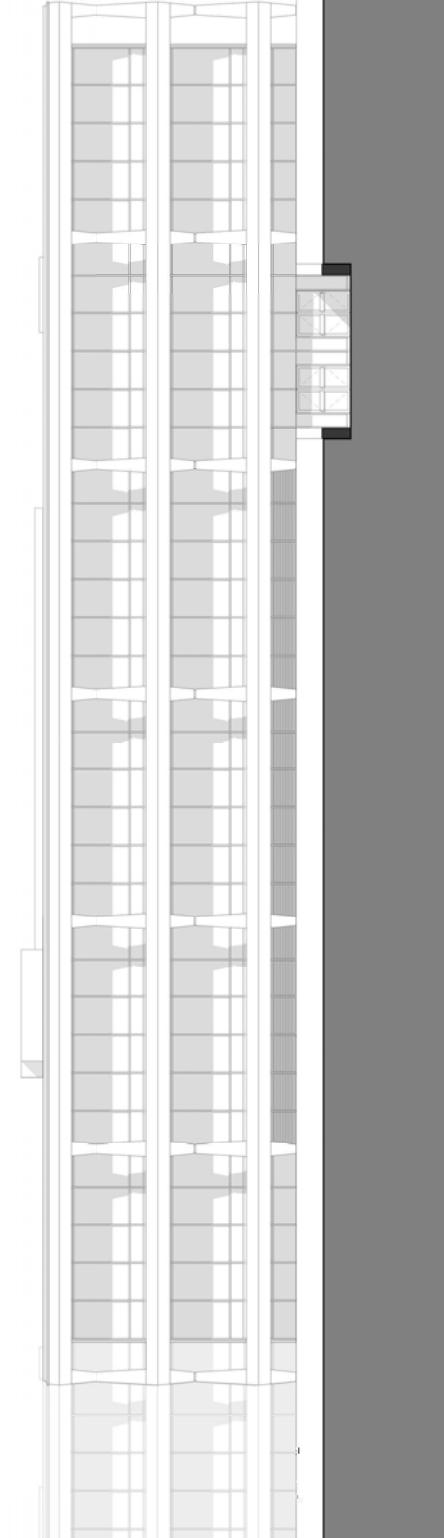
Orme
PPL - PLANNING

Chivers Yard
55-71 City Road
London
EC1Y 1HQ
0207 833 8533
enquiries@chivers.co.uk

Project: Hayes Business
Drawing #: Existing
Planning - South Build
Category: 11: 100
www.Number Project Original HBP-ORM



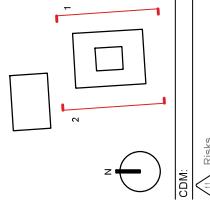
12503 - Existing - Detail North Elevation - South Building



12503 - Existing - Detail South Elevation - South Building

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Key Plan:

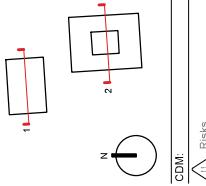


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52-54 Chancery Lane		
EC1M 7HS		
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United Kingdom		
+44 20 7638 5000		
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Orms Ltd		
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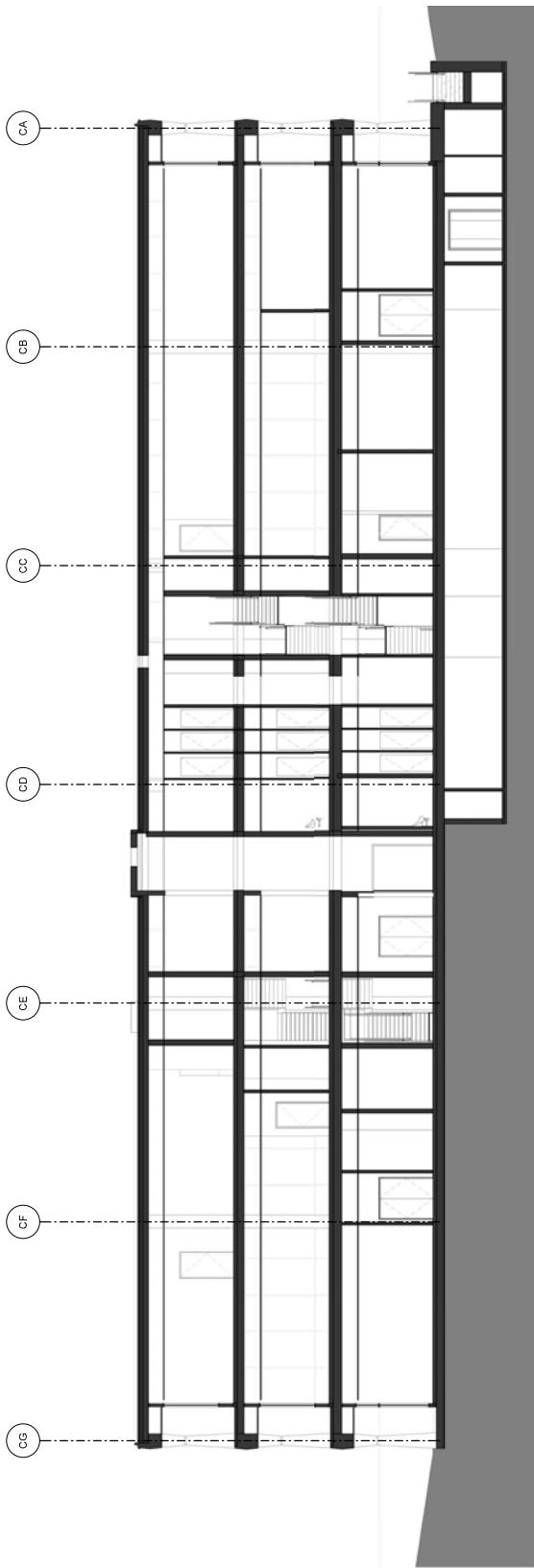
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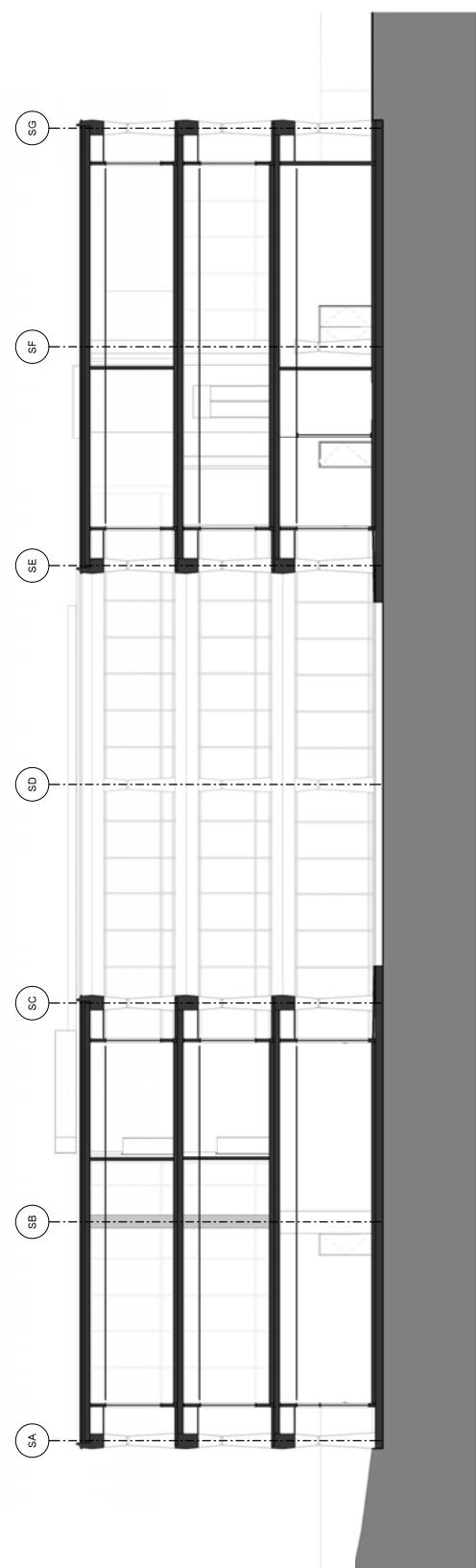
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Ref:	Issue	Rev. Date	Description
PO1	1148.00	Planning Issue	PL • PLANNING

Issue No: 1148.00
Rev. No: PL • PLANNING
Project No: 1274
Drawing Number: HBP-ORW-22-AA-DR-A-12301
Scale: 1:100
Drawing Date: 12/01/2014
Drawing Author: Hayes Business Park
Comments: Drawing issued for planning purposes only. No building work should commence until planning permission is granted.



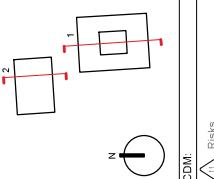
1 12301 • Existing - Detail Long Section - Central Building
Scale: 1:100



2 12301 • Existing - Detail Cross Section - South Building
Scale: 1:100

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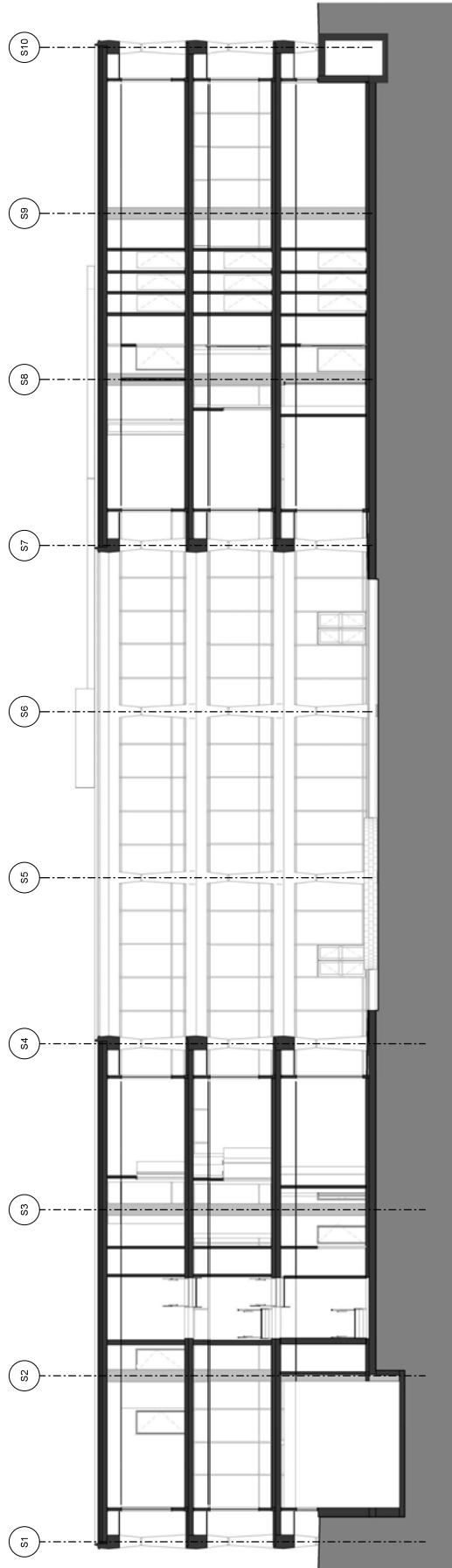
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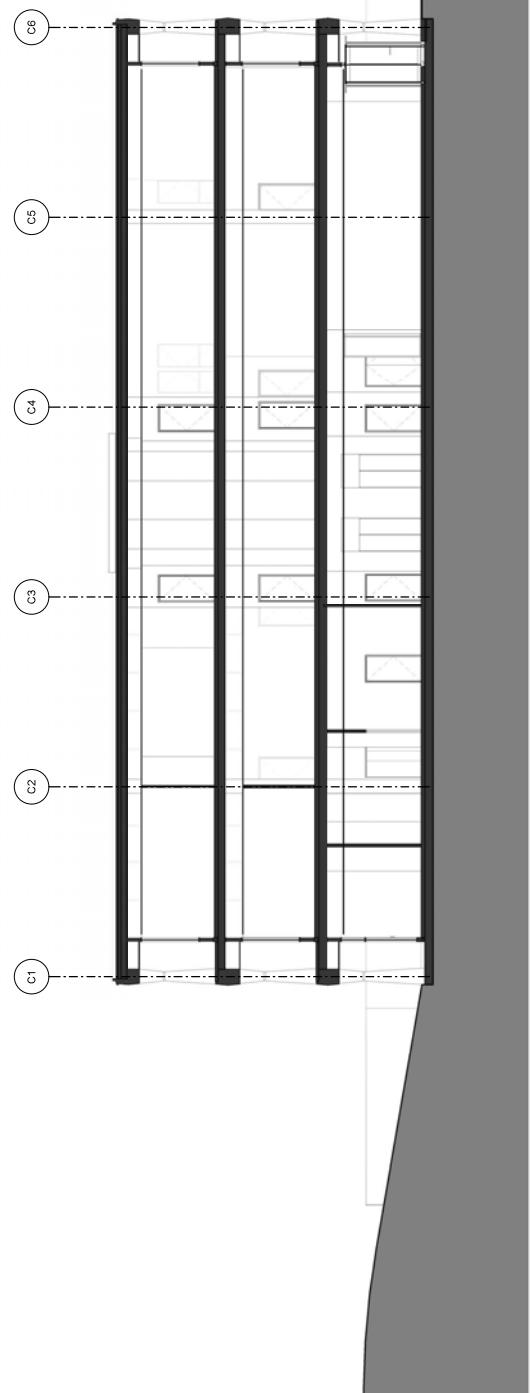
CDM:



Notes:



12302 - Existing - Detail Long Section - South & Central Building 01
Scale: 1:100



12302 - Existing - Detail Long Section - South & Central Building 02
Scale: 1:100

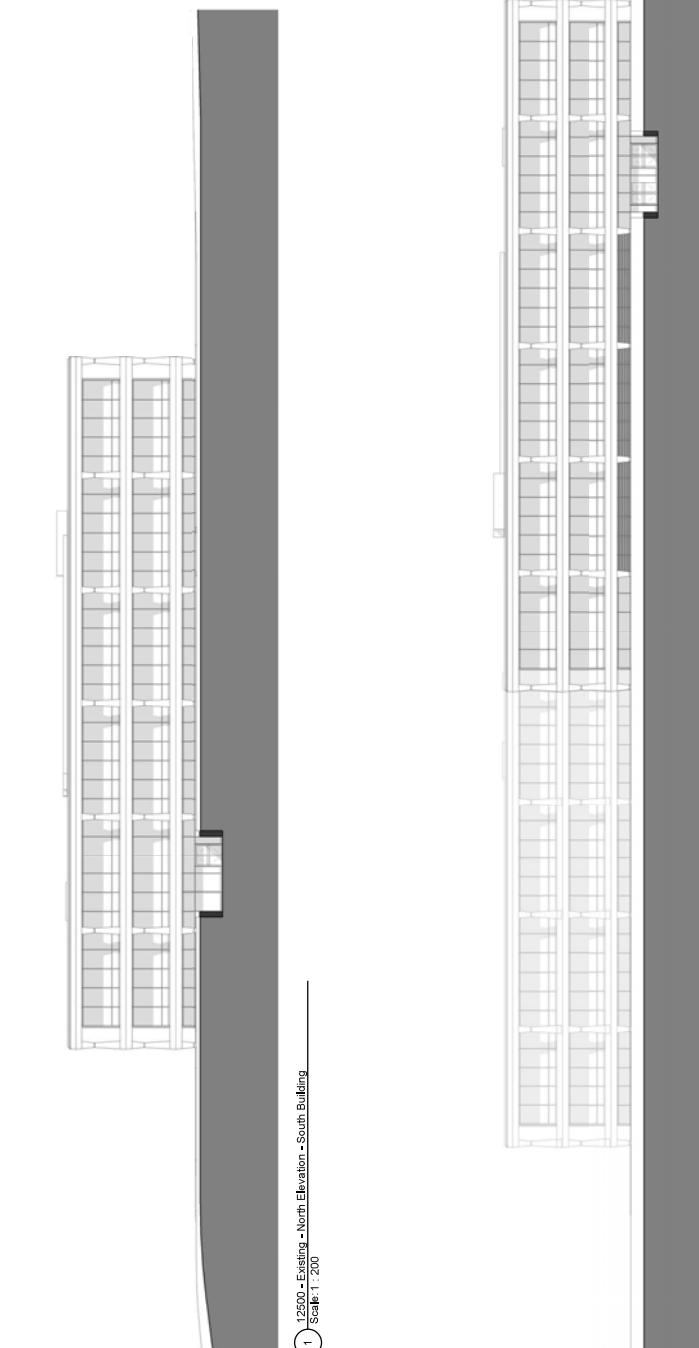


Ref:	1148.00	Planning Issue
Rev. Date		Description
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HBP-ORM-22-AA-DR-A-12302		
Orms		
1 Chancery 52-54 Chancery EC1V 9HQ 020 7231 0000 orms.co.uk orms@orms.co.uk		
Project No:		
Elevation:		
Building:		
Scale:		
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12302		
Rev.:		
Hayes Business Park		
Drawing Date:		
12/02/2024		
Comments:		
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Key Plan:

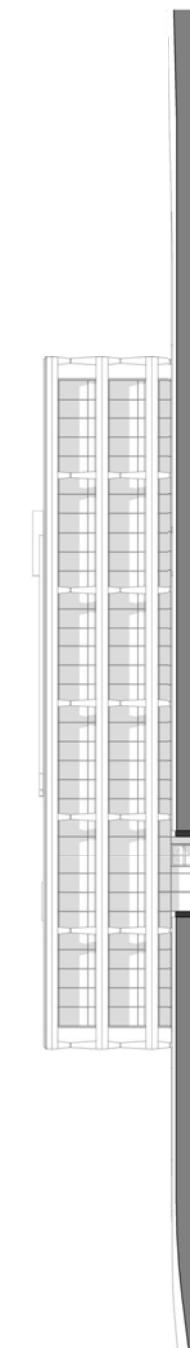


① 12500 - Existing - North Elevation - South Building
Scale 1 : 200

② 12500 - Existing - South Elevation - South Building

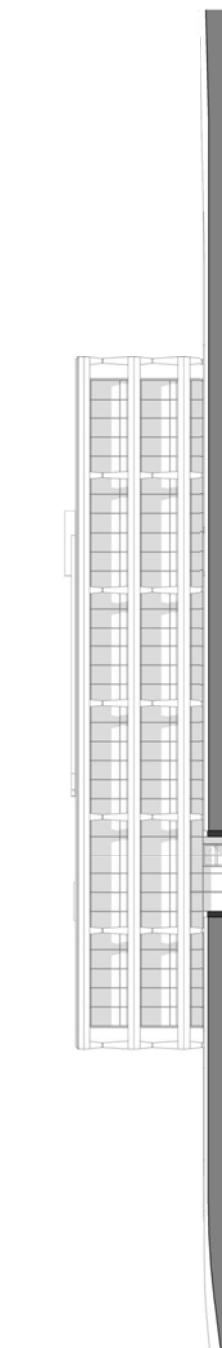
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Notes:



③ 12500 - Existing - East Elevation - South & Central Building
Scale 1 : 200

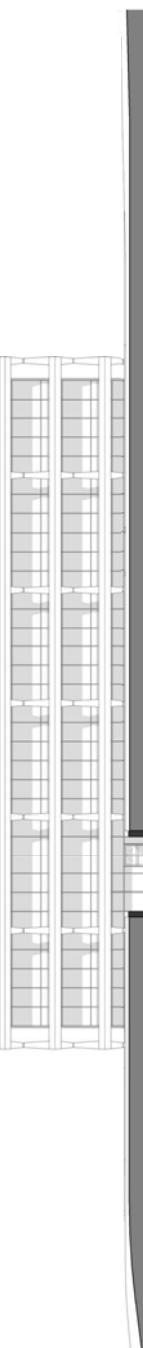
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④ 12500 - Existing - South Elevation - South Building

Scale 1 : 200

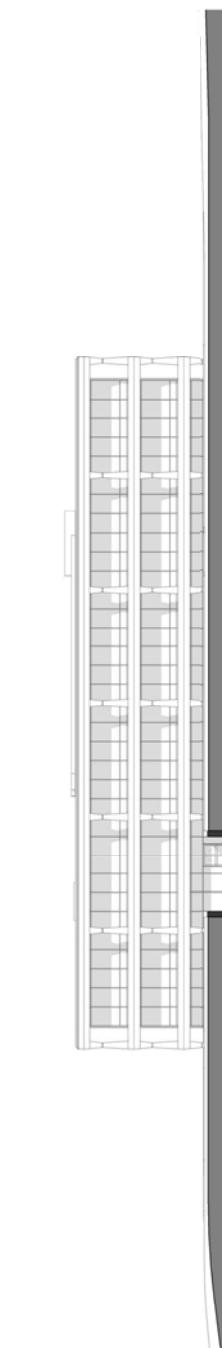
Notes:



⑤ 12500 - Existing - South Elevation - South Building

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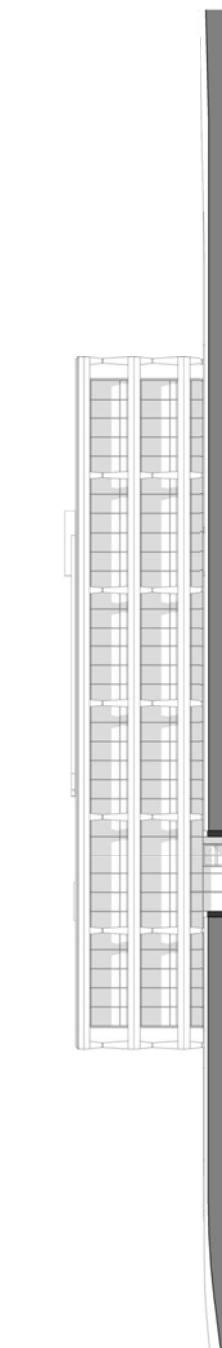
Notes:



⑥ 12500 - Existing - South Elevation - South Building

Scale 1 : 200

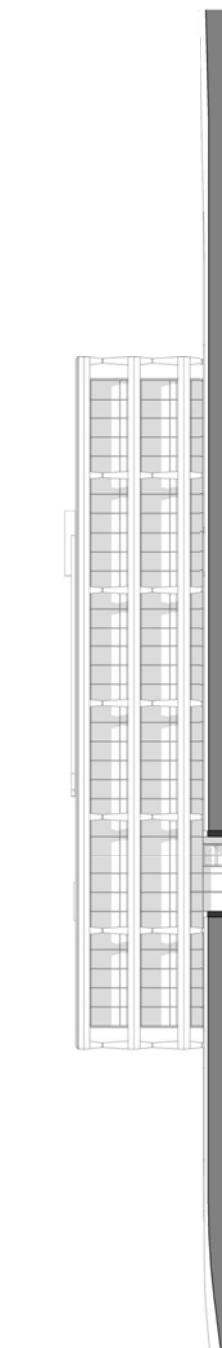
Notes:



⑦ 12500 - Existing - South Elevation - South Building

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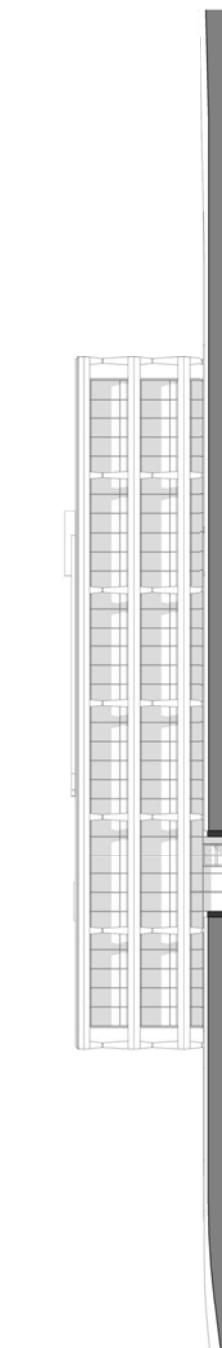
Notes:



⑧ 12500 - Existing - South Elevation - South Building

Scale 1 : 200

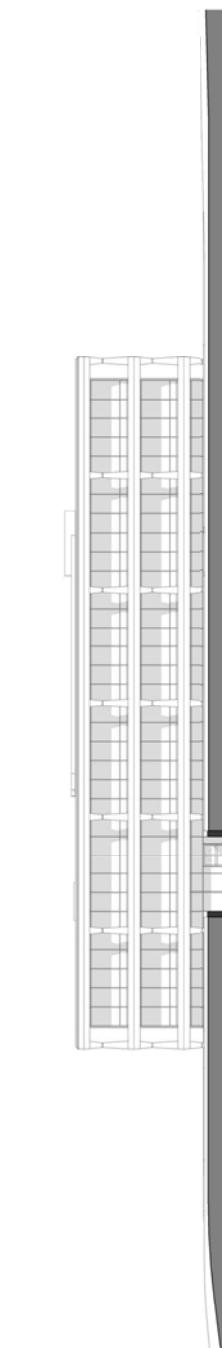
Notes:



⑨ 12500 - Existing - South Elevation - South Building

Scale 1 : 200

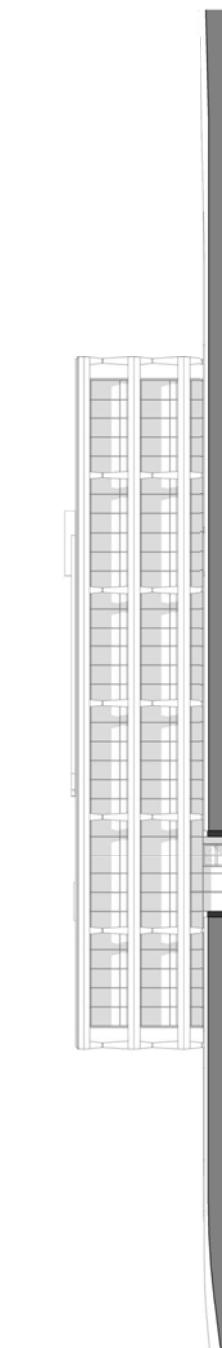
Notes:



⑩ 12500 - Existing - South Elevation - South Building

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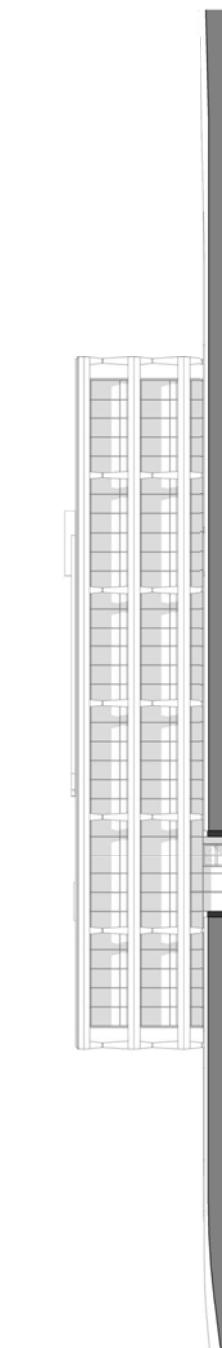
Notes:



⑪ 12500 - Existing - South Elevation - South Building

Scale 1 : 200

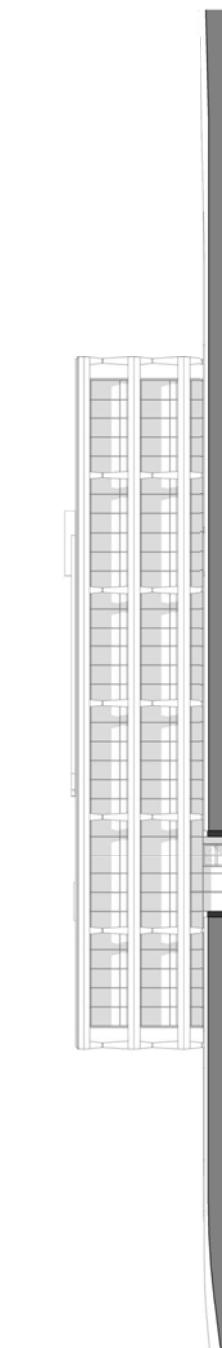
Notes:



⑫ 12500 - Existing - South Elevation - South Building

Scale 1 : 200

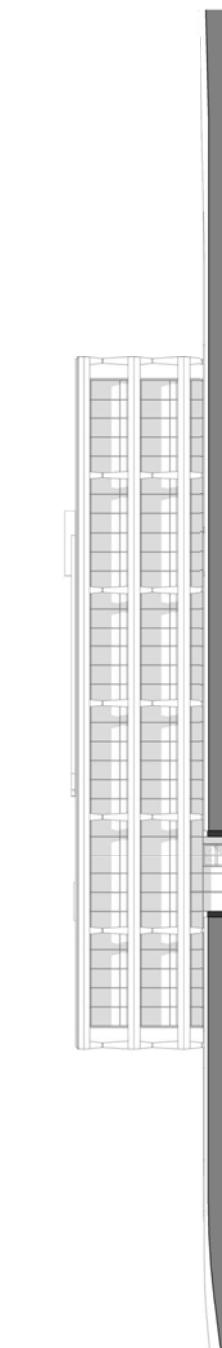
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⑬ 12500 - Existing - South Elevation - South Building

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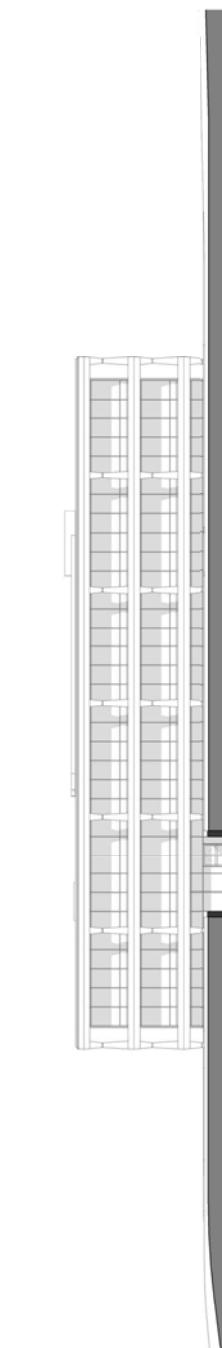
Notes:



⑭ 12500 - Existing - South Elevation - South Building

Scale 1 : 200

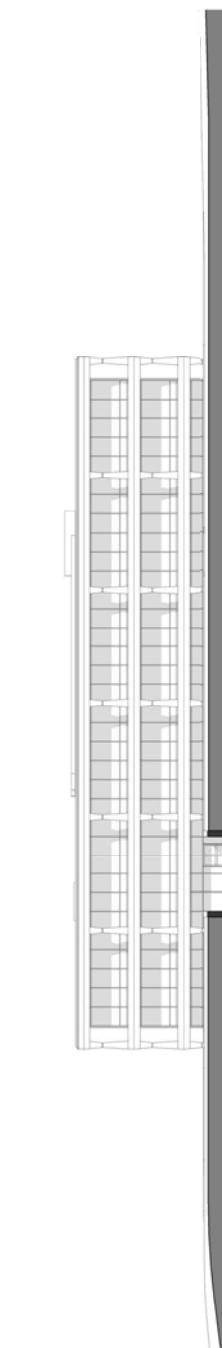
Notes:



⑮ 12500 - Existing - South Elevation - South Building

Scale 1 : 200

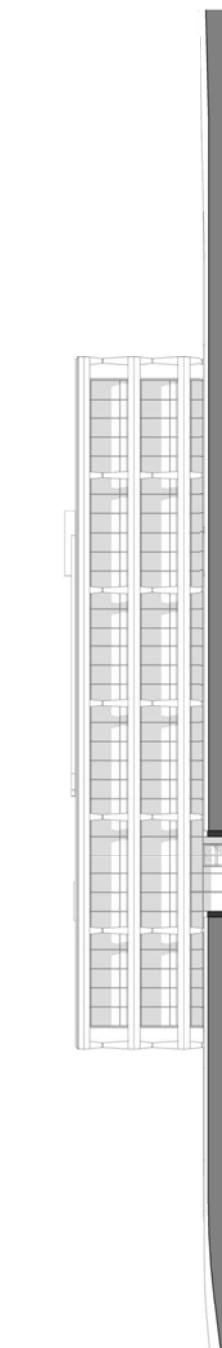
Notes:



⑯ 12500 - Existing - South Elevation - South Building

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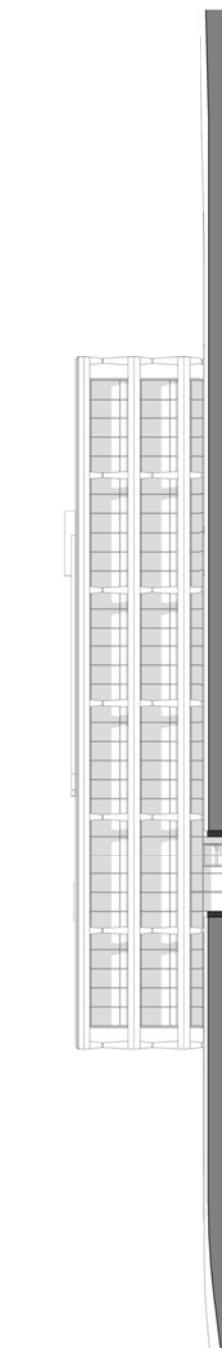
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⑰ 12500 - Existing - South Elevation - South Building

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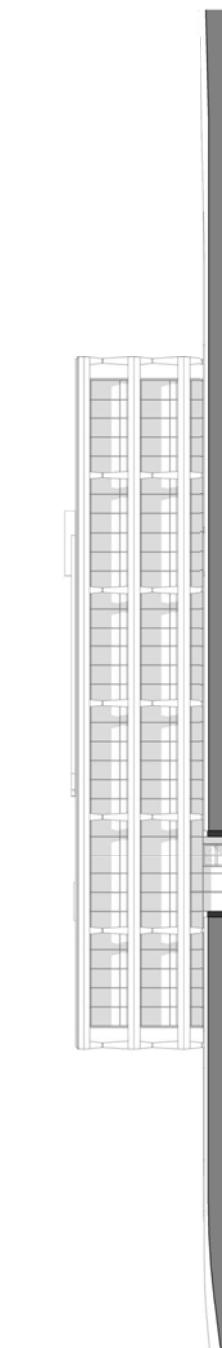
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⑱ 12500 - Existing - South Elevation - South Building

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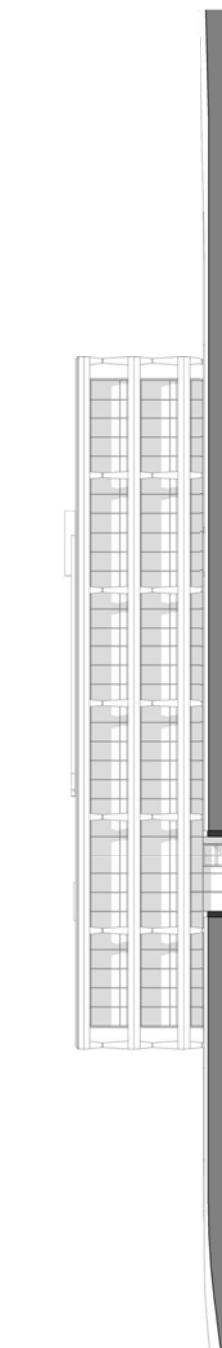
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⑲ 12500 - Existing - South Elevation - South Building

Scale 1 : 200

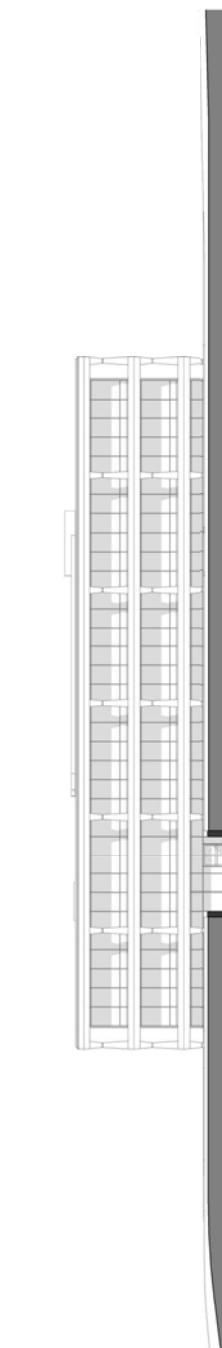
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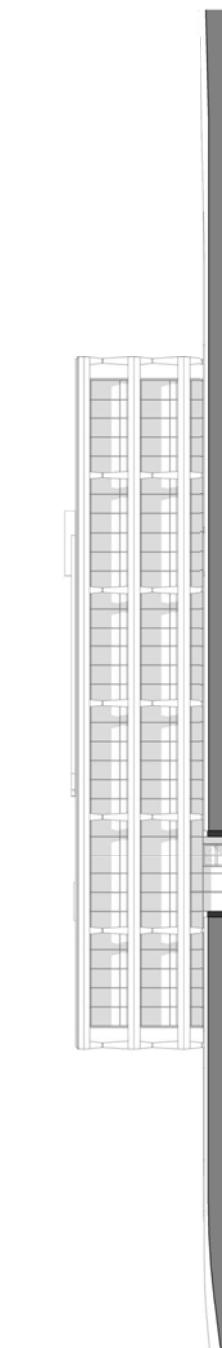
Notes:



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Scale 1 : 200

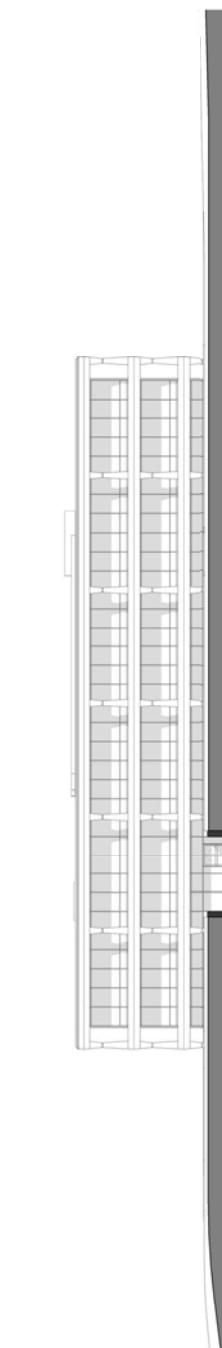
Notes:



㉒ 12500 - Existing - South Elevation - South Building

Scale 1 : 200

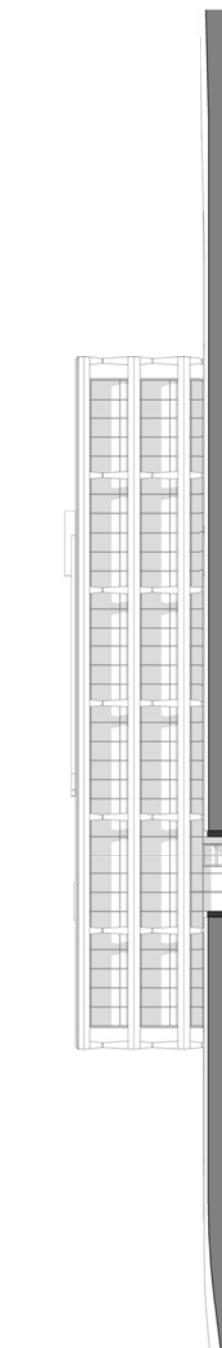
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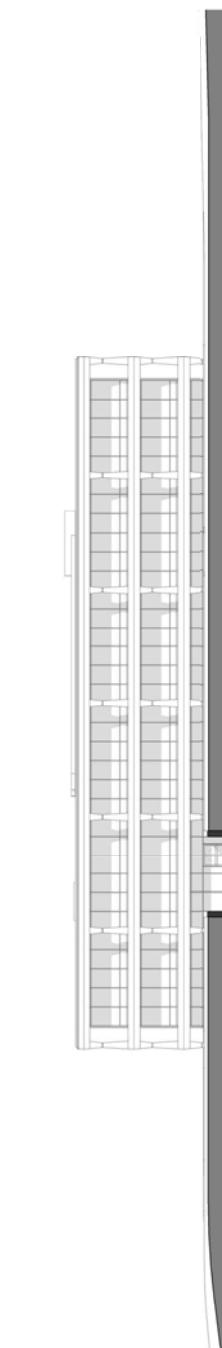
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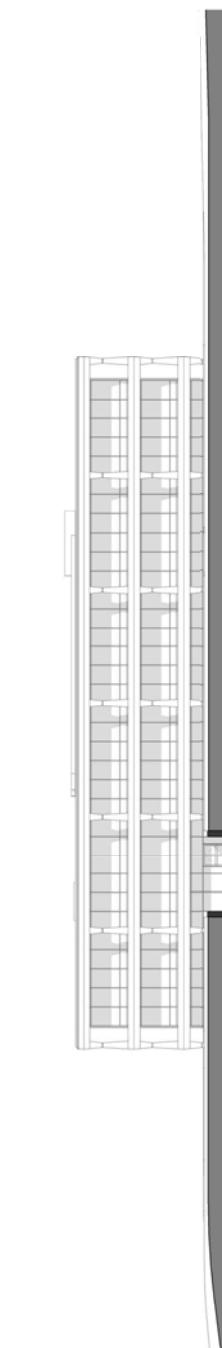
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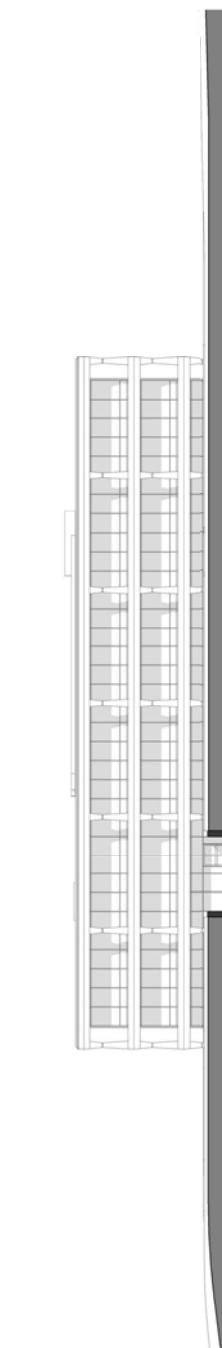
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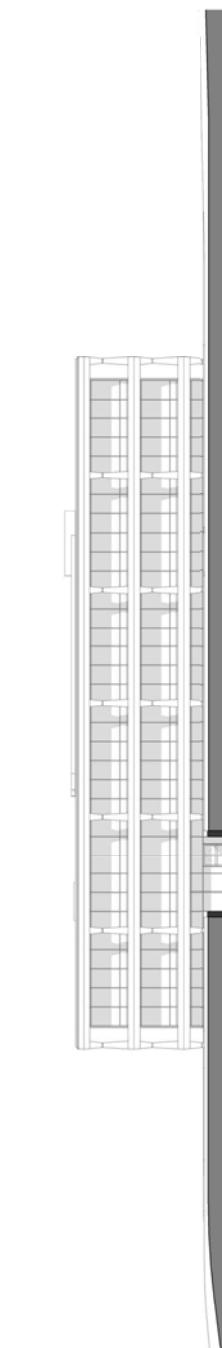
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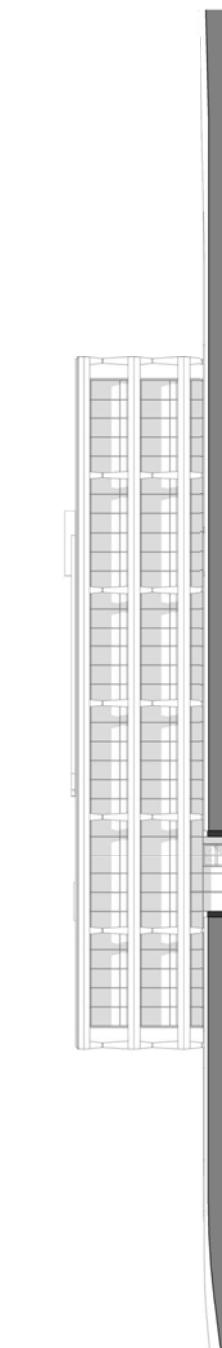
Notes:



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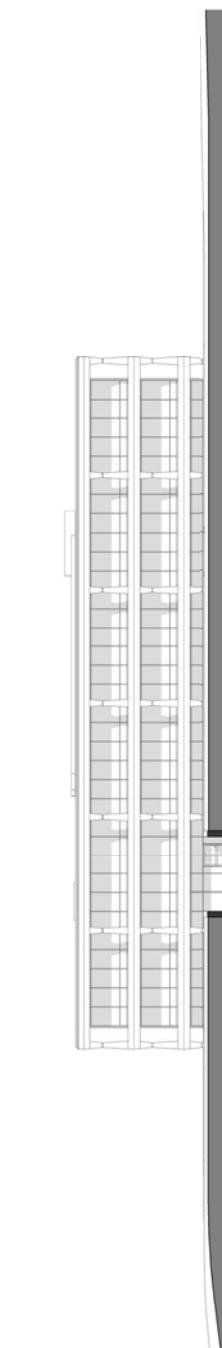
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㉙ 12500 - Existing - South Elevation - South Building

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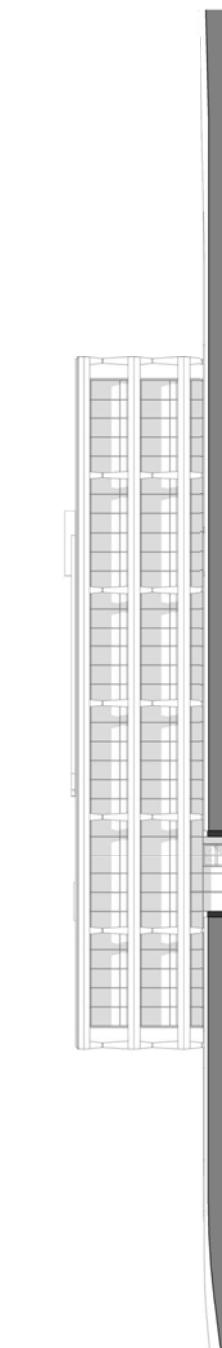
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Scale 1 : 200

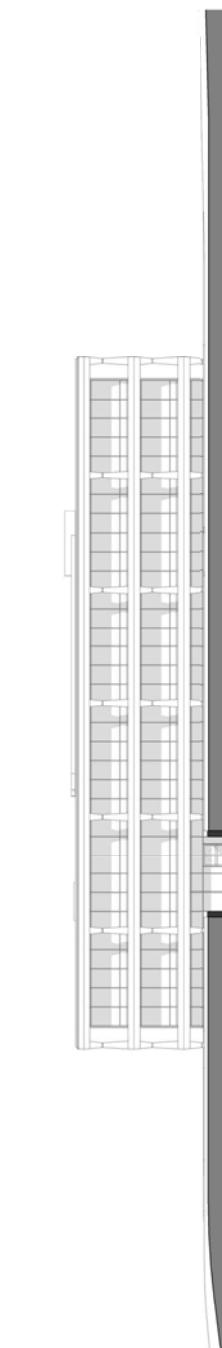
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Scale 1 : 200

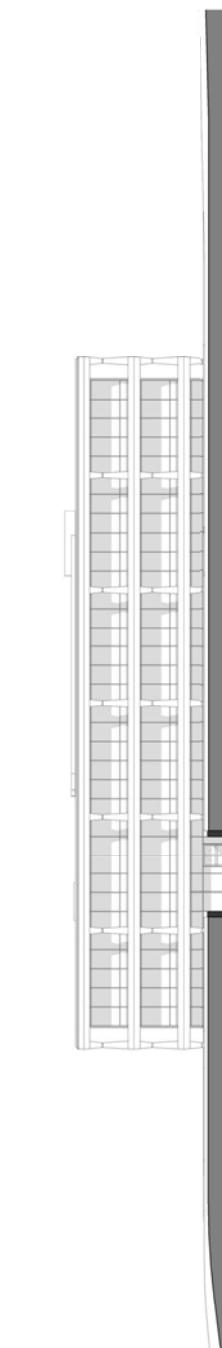
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Scale 1 : 200

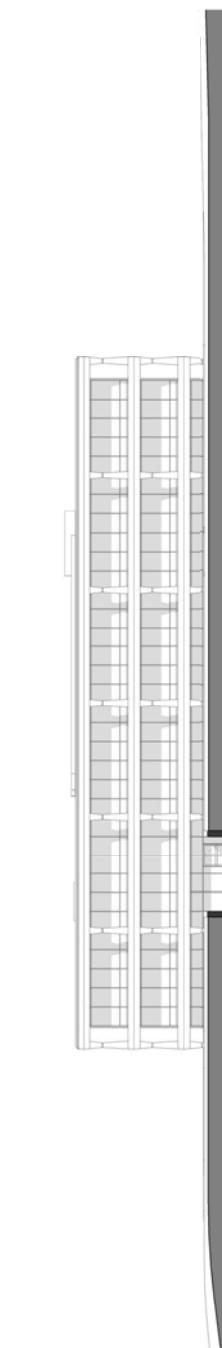
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㉝ 12500 - Existing - South Elevation - South Building

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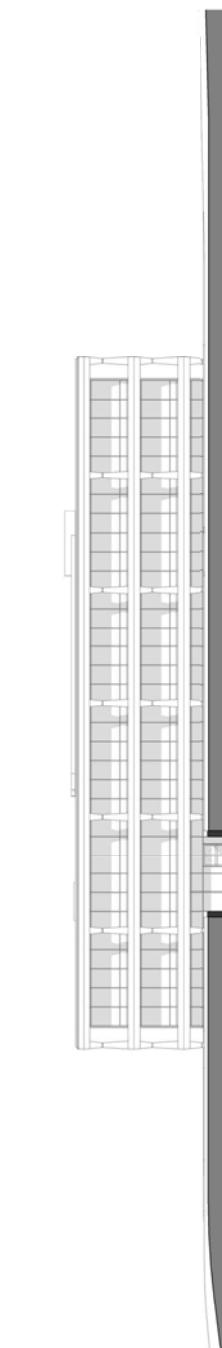
Notes:



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Scale 1 : 200

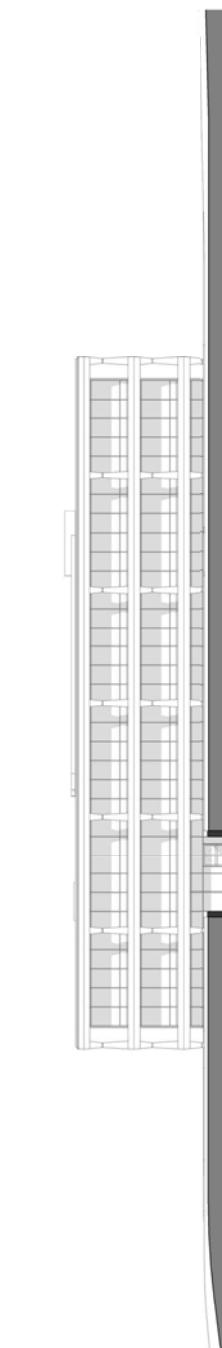
Notes:



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Scale 1 : 200

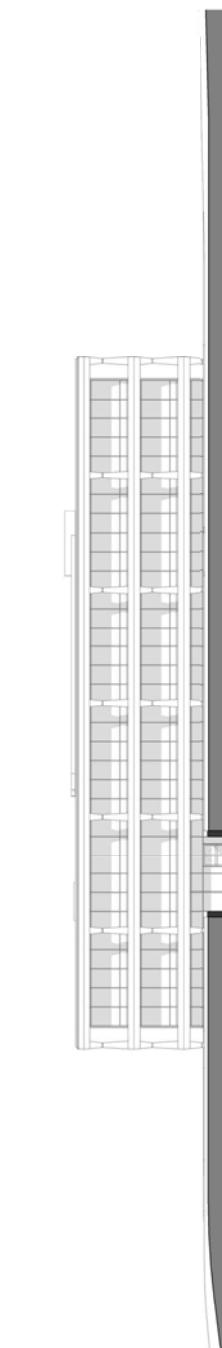
Notes:



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Scale 1 : 200

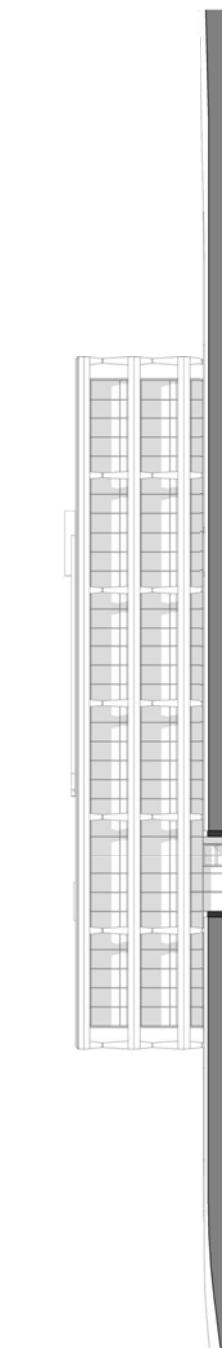
Notes:



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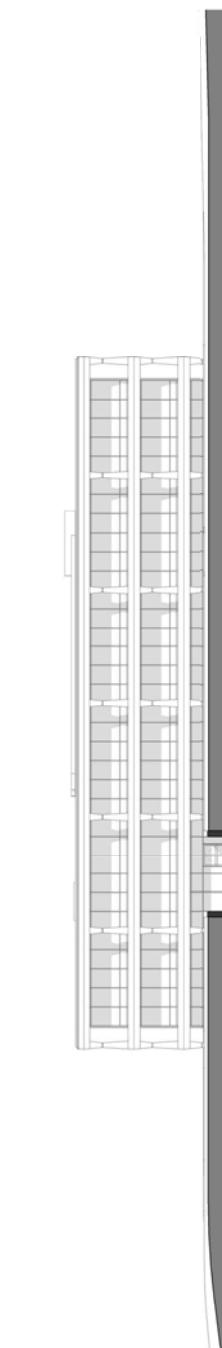
Notes:



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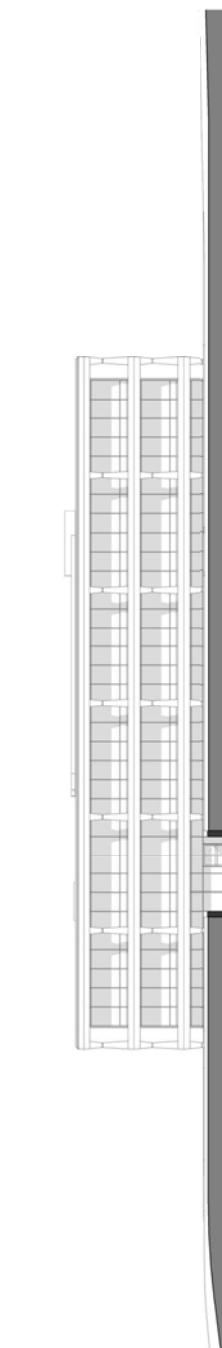
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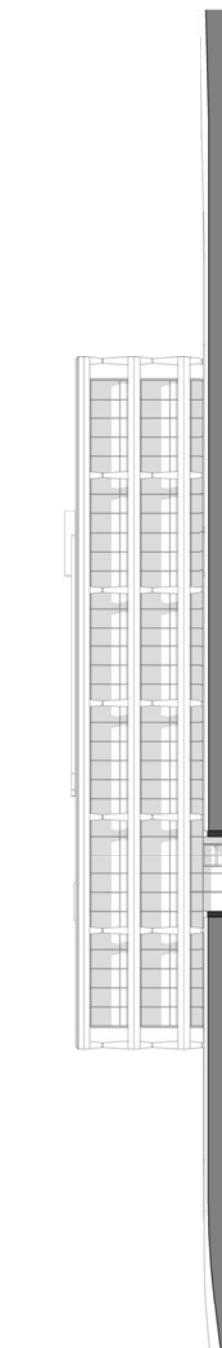
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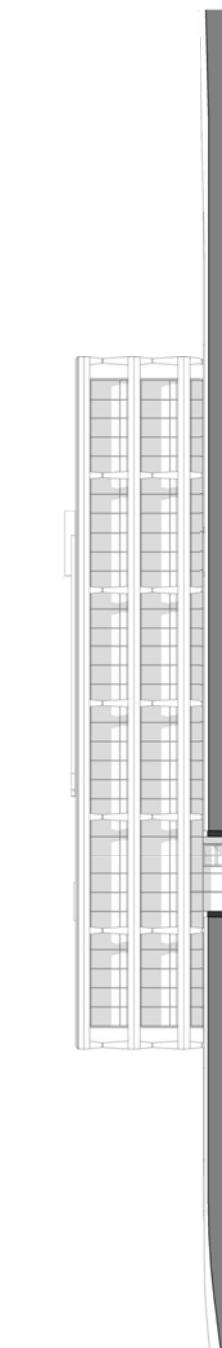
Notes:



㉟ 12500 - Existing - South Elevation - South Building

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Notes:

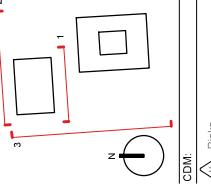


㉟ 12500 - Existing - South Elevation - South Building

Scale 1 : 200

Do not scale. All dimensions to be confirmed on site.
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to be reproduced without permission.

Key Plan:



CDM:
Risks

Notes:

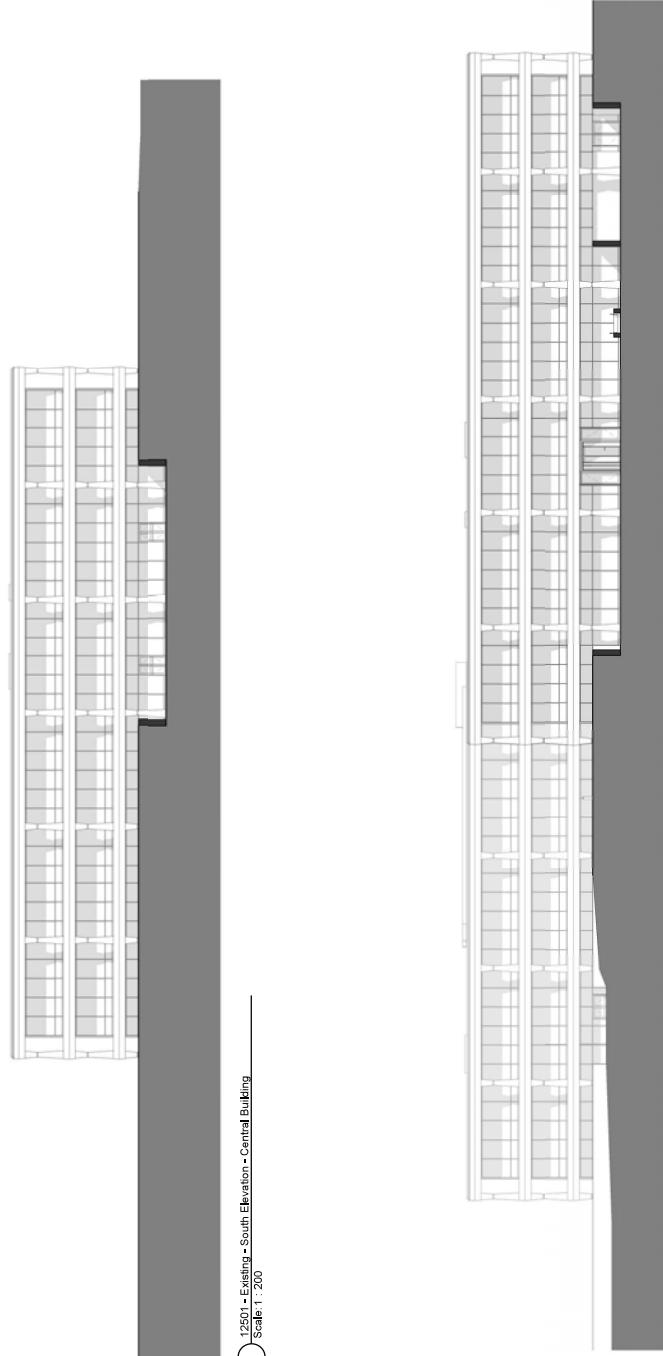
Rev.	Issue No.	Description	Project No.
P01	21/03/20	Draft Planning Issue	HBPP-ORW-22-SO-DR-A-12501
P02	04/03/20	Final Draft Planning Issue	
P03	11/03/20	Planning Issue	

Rev. Date
Description
Project No.

Orms

1 Chancery Lane
52-54 Chancery Road
EC4M 1HG
020 7234 0000
enquiries@orms.co.uk
enquiries@orms.co.uk

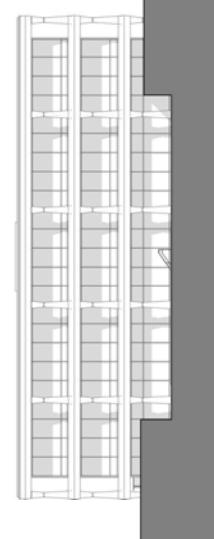
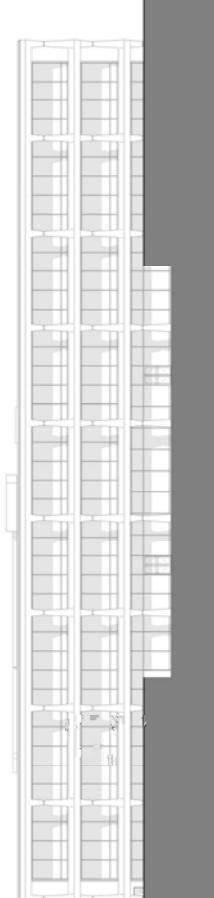
Hayes Business Park
Orms Hayes
Elevations - General Elevation
Elevations 32
As Indicated
Drawing Number
Drawing Date
Drawing Title
Drawing Description
Drawing Number
Drawing Date
Drawing Title
Drawing Description



1 12501 - Existing - South Elevation - Central Building
Scale 1 : 200

2 12501 - Existing - North Elevation - Central Building
Scale 1 : 200

3 12501 - Existing - West Elevation - South & Central Building
Scale 1 : 200



Do not scale. All dimensions to be confirmed on site.
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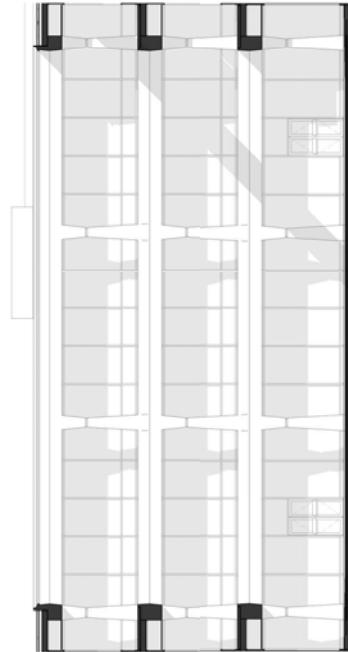
Key Plan:



N



Notes:

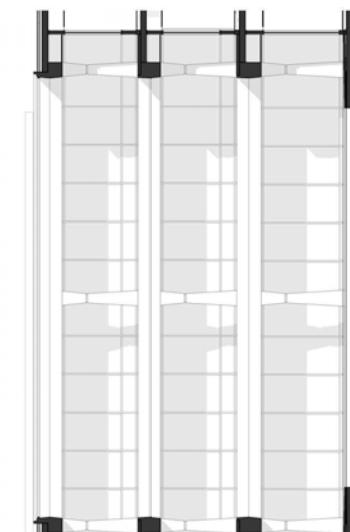


① 12502 - Existing - South Elevation - Courtyard
Scale 1:100

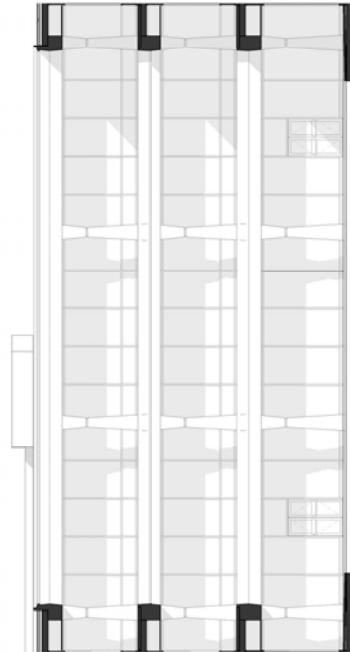
② 12502 - Existing - West Elevation - Courtyard
Scale 1:100



③ 12502 - Existing - North Elevation - Courtyard
Scale 1:100



④ 12502 - Existing - East Elevation - Courtyard
Scale 1:100



⑤ 12502 - Existing - East Elevation - Courtyard
Scale 1:100

Rev.	Date	Description
P01	21/08/20	Draft Planning Issue
P02	04/09/20	Final Draft Planning Issue
P03	11/09/20	Planning Issue

Issue No:

PL - PLANNING

Rev.	Date	Description
P01	21/08/20	Draft Planning Issue
P02	04/09/20	Final Draft Planning Issue
P03	11/09/20	Planning Issue

Orms

1 Chancery Lane
52-54 Chancery Lane
EC4M 1HQ
020 7235 0000
www.orms.co.uk
orms@orms.co.uk

Printed:

Hayes Business Park

Orms Ltd
Planning
Planning - General Elevations
Court Yard Elevation

Scale:

1:100

Project No:

2174

Drawn by:

DRW

Date:

12/09/20

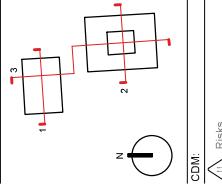
Rev.:

P03

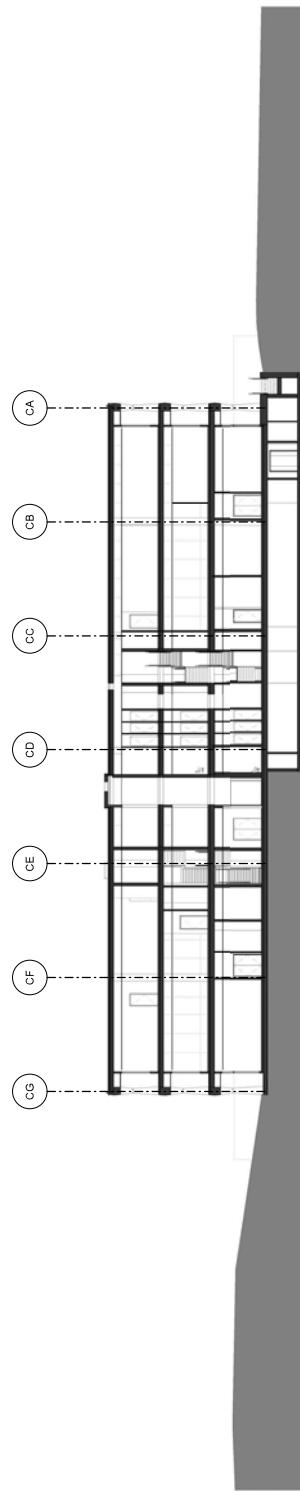


Do not scale. All dimensions to be confirmed on site.
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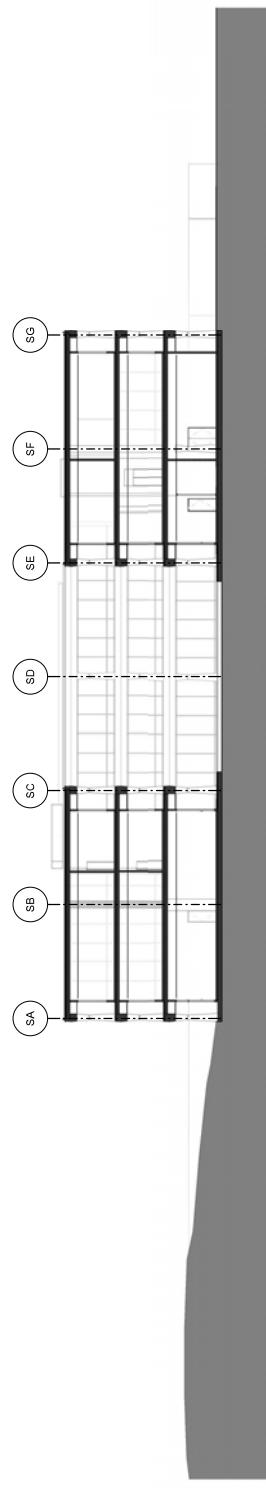
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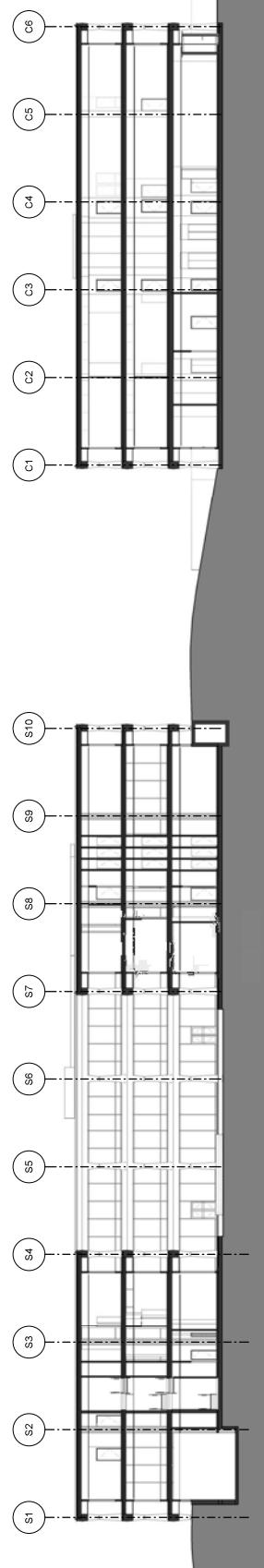
① 12300 - Existing - Long Section - Central Building
Scale 1:200



② 12300 - Existing - Long Section - South Building
Scale 1:200



③ 12300 - Existing - Long Section - South & Central Building
Scale 1:200



④ 12300 - Existing - Cross Section - South & Central Building
Scale 1:200



PO1	21/03/20	Draft Planning Issue
PO2	04/06/20	Final Draft Planning Issue
PO3	11/03/20	Planning Issue
Rev. Date		Description

Issue No:

PL + PLANNING

Project No:

12300

Drawn by:

Hayes Business Park

checked by:

Hayes Business Park

Approved by:

Hayes Business Park

Drawn in:

Hayes Business Park

Section:

As Indicated

Date:

12/03/2020

Project No:

2174

Rev. No:

P03

Proposed Plans and Elevations:
0.1. New curved sailing doors and pass doors to
02. New glazed double doors (to replace existing
non-glazed doors) to secondary entrances
03. Entrance to Bar Store with new double glazed
doors (to replace existing non-glazed doors)
04. Existing fire escape and main
non-glazed double doors (to replace existing
non-glazed double doors)
05. New stairs to the roof terrace (having a return of 90 degrees
06. New glazed double doors between cafe and
theatre (to replace existing non-glazed doors)
07. New entrance to the roof terrace
08. New access hatch (to replace existing)
10. Three existing louvre panels to be removed and
replaced with new double glazed units within curtain
wall system (to be replaced with new double
glazed panels)
11. Existing double walls to be replaced with
spanned panel wall louvres. New louvres to match
existing louvres on the south facade
12. New fire escape door (to replace existing door)
13. New entrance to the roof terrace
14. New A/C unit
15. Existing lift overrun
16. New access hatch (to replace existing)
17. Existing external louvres to be removed and
replaced with new double glazed units within curtain
wall system (to be replaced with new double
glazed panels)
18. Space taken from rafter bays in plant room and
19. To be removed (to be replaced with new double
glazed panels)
20. New external louvre

Internal wall thicknesses and positions are
indicated on the plans and subject to refinement and
design development. Internal door arrangements, sizes and positions are
indicated only and subject to refinement and
design development.

Ref.	Date	Planning Issue
P01	04/06/20	Final Draft Planning Issue
P02	11/06/20	Planning Issue

Rev. Date

Description

Notes:

Orms
Hayes Business Park

1. Churn End
52-54 Churn End
Ecton, Milton Keynes
MK10 8SD
United Kingdom
01908 622200
email: info@orms.co.uk
Fax: 01908 622201
Project Ref: 2174
Drawing Number: HBP-ORM-22-81-DR-A-1223
Scale: 1:100
Rev. 02

Orms
Hayes Business Park
1. Churn End
52-54 Churn End
Ecton, Milton Keynes
MK10 8SD
United Kingdom
01908 622200
email: info@orms.co.uk
Fax: 01908 622201
Project Ref: 2174
Drawing Number: HBP-ORM-22-81-DR-A-1223
Scale: 1:100
Rev. 02

Proposed Plans and Elevations:
 01. New car park loading doors and pass doors to main entrance (to be confirmed on site).
 02. Second storey entrance (to be confirmed on site).
 03. Entrance to Bar Store with new double glazed doors (to replace existing non-typical doors).
 04. New double glazed doors (to replace existing non-typical doors).
 05. Replaced reflecting pool.
 07. New glass screen to the edge of reflecting pool for external staircase.
 08. New double doors between cafe and reflecting pool (to replace existing).
 09. New access ramp between building and reflecting pool (to be confirmed on site).
 10. New access ramp between building and reflecting pool (to be confirmed on site).
 11. New double glazed doors to be replaced with new double glazed units within certain wall systems.
 12. New double glazed doors on south facade (to be confirmed on site).
 13. New fire escape door (to replace existing door).
 14. New roof light.
 15. New fire screen.
 16. New access hatch (to replace existing).
 17. New ACU (to replace existing ACU).
 18. New access ramp (to be confirmed on site).
 19. Space taken from refectory/ceiling plant room and given to office (new slab required in this area).
 21. Proposed steps to replace existing temporary ramp.

Internal wall thicknesses and positions are indicated on the drawings and subject to refinement and change. Internal door positions, sizes and predictions are indicated only and subject to refinement and design development.

On Typical Floors: Existing drainage position to be reviewed with replacement drainage system. If there is no existing drainage and associated pipe work, then a new drainage system will be required. If there is no existing provision for drainage, new drainage and associated pipe work will be required. Please note: All existing drainage outlets on Central Building Road to be confirmed. Assumed positions shown on site.

External Locations:
 1. ESD strip lighting around building and to drawing 23/00 or as indicated.
 2. LED lighting to drawing 23/00 or as indicated.

Note: Listing of item numbers, specifications and positions to be confirmed.

Rev. Date	Description
P01	04/06/20 Final Draft Planning Issue
P02	11/06/20 Planning Issue
P03	13/1/20 Planning Response D1 Issue
P04	20/1/20 Planning Response D1 Issue

Issue to:

PL + PLANNING

1. Chertsey Road
 2. C1 City Road
 EC1V 1HQ
 020 7235 2000
 email: ec1@ec1.gov.uk

Project No. 2174
 Drawing Number HBP-ORW-22-01-DR-A-12211
 Scale 1:100
 Rev. As Indicated

Orms
 Hayes Business Park
 Hayes, Middlesex, UB7 7JL
 Tel: 01992 630000
 Fax: 01992 630001

11

Spot uplights around new tree
LED strip lighting around island
LED external solar spot uplighter. Refer to drawing 12700 for typical details

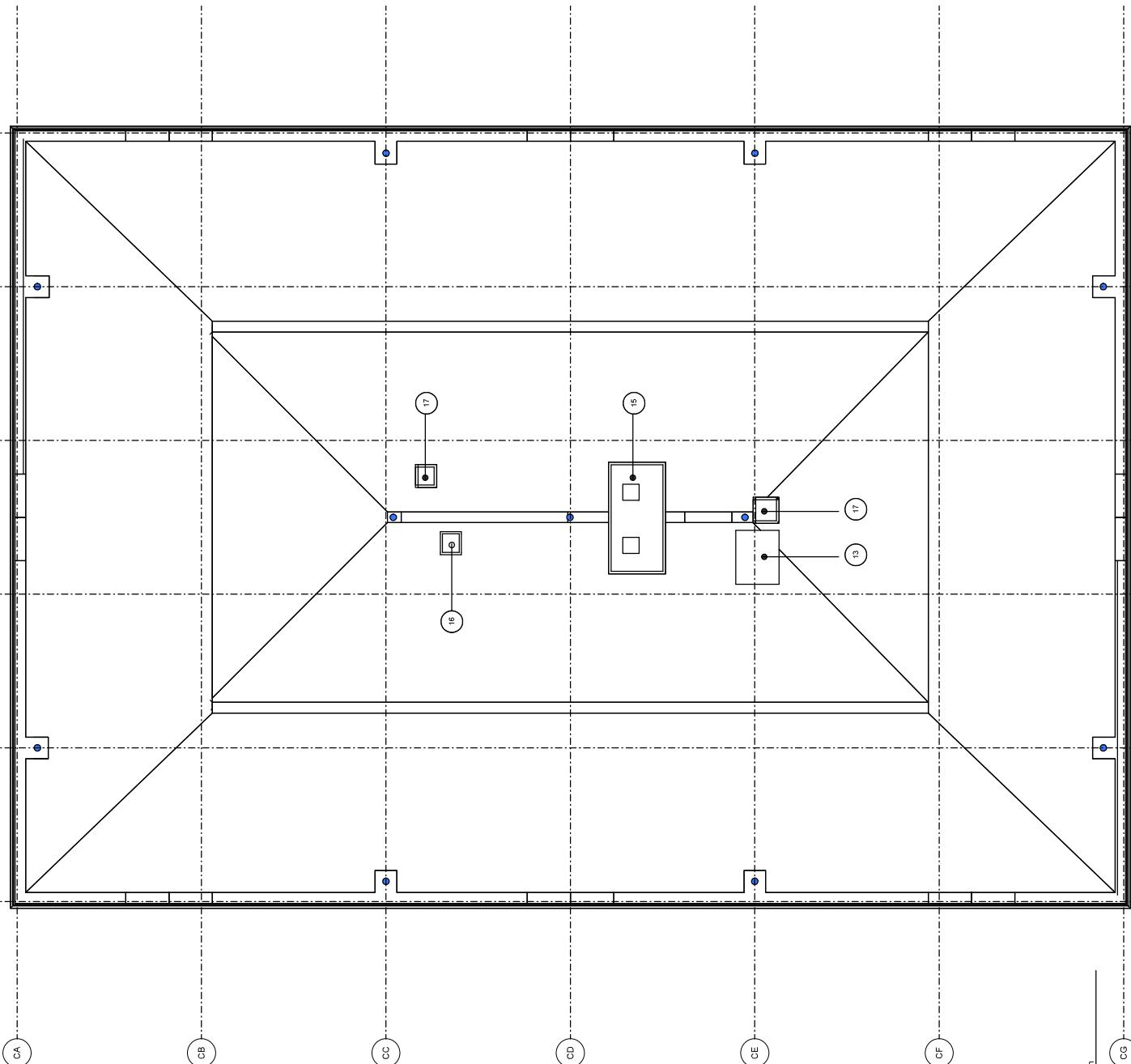
Note: Lighting by part numbers, specifications and positions to be confirmed.

Rev.	Date	Description
PLU-1	PLU-2	PLANNING
<p style="text-align: center;">Orms</p> <p style="text-align: center;">12th Floor, 1000 Parkview, 10th Street, Parkview, Durban, 4301, South Africa</p> <p style="text-align: center;">Phone: +27 31 338 8533 Fax: +27 31 338 8533 Email: info@orms.co.za</p>		
<p style="text-align: center;">Project: Proposed Planning - Central Building Second Floor Plan</p> <p style="text-align: center;">Site Address: 12th Floor, 1000 Parkview, 10th Street, Parkview, Durban, 4301, South Africa</p> <p style="text-align: center;">Proposed Building Name: Orms Business Park</p> <p style="text-align: center;">Drawing No.: HPB-ORM-ZZ-02-DR-A-12222</p> <p style="text-align: center;">Drawing Date: 10/05/2010</p> <p style="text-align: center;">Drawing Scale: 1:500</p> <p style="text-align: center;">Drawing Number: 1</p> <p style="text-align: center;">Drawing Date: 10/05/2010</p> <p style="text-align: center;">Drawing Scale: 1:500</p> <p style="text-align: center;">Drawing Number: 1</p>		
Rev.	PLU-2	PLU-1

02 - Planning - Proposed - CB Detail Second Floor Plan
Scale: 1 : 100

110

Issued for: **PI - PI ANNING**



Proposed Plan and Elevations:
01. New curved spring doors and pass doors to
main entrance (to be confirmed).
02. New double doors (to be confirmed).
03. Entrance to Bus Store with new double glazed
doors (to replace existing non-glazed doors).
04. New double doors (to be confirmed).
05. New double doors (to be confirmed).
06. Requested reflecting pool
07. New glass doors between cafe and
reflecting pool (confirmed).
08. New glass doors between cafe and
reflecting pool (confirmed).
09. New glass doors between cafe and
reflecting pool (confirmed).
10. New access hatch (to be confirmed).
11. New access hatch (to be confirmed).
12. New access hatch (to be confirmed).
13. New ramp (to be confirmed).
14. New roof light.

15. Existing Lift overrun
16. New access hatch (to replace existing)
17. New ACV to replace existing ACV (to be confirmed).
18. New access hatch (to be confirmed).
19. Space taken from refectory/office plan room and
given to office (new ab required in this area)
20. New ramp (to be confirmed).
21. Proposed steps to replace existing temporary
ramp.

Internal wall thicknesses and positions are
subject to refinement and are not to be confirmed
until after completion of the scheme.

Internal door arrangements, sizes and positions are
indicated only and subject to refinement and
design review.

On typical floors, existing drainage position to be
revised with replacement drainage system.

Existing drainage position to be confirmed.
Note: lighting fitting numbers, dimensions and
positions to be confirmed.

Planning Issue

Planning Response 01 Issue

Planning Response 02 Issue

Assumed
Elevation
marked only.

Exterior
marked only.

Spot uplighter around tree tree

LED strip lighting around ground floor
to replace existing 1270cm

Planning Issue

Planning Response 01 Issue

Assumed
Elevation
marked only.

Exterior
marked only.

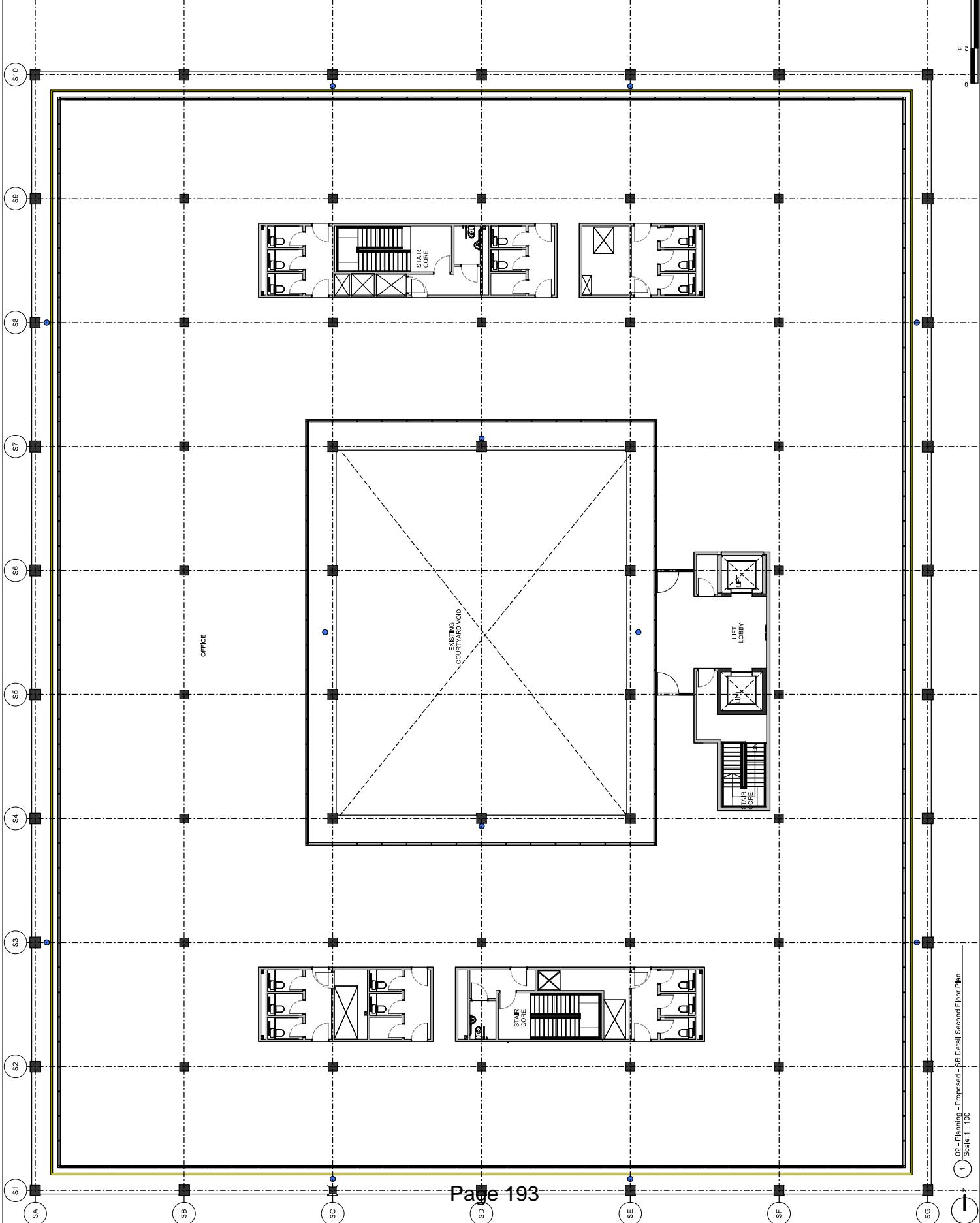
Orms
1 Chancery Lane
52-54 Chancery Lane
EC4Y 1HQ
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email: info@orms.co.uk
Project Ref: 2174
Drawing Number: HBP-DRW-ZZ-02-DR-A-1212
Scale: 1:100
Rev: 04

Overall
Dimensions
Planned - South Building

Second Floor Plan

As Indicated

Project Ref: 2174
Drawing Number: HBP-DRW-ZZ-02-DR-A-1212
Scale: 1:100
Rev: 04



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1

CDM:

Notas:

100

	Metal ceiling panel 1200x1200
	C Channel
	Illuminated ceiling Panel
	Circular downlights
	Cove lighting
	Indicative location for ceiling fixtures (ie smoke detector)
	Air grilles
	Linear air grilles
	Heater / air curtain
	Hanging light fixture
	Replacement of existing Access Hatch AOV (in same position)
	New AOV
	New Rooflight
	Fire note: BOH lighting such as Plant rooms, stores and kitchen ceilings to be designed to specific heights to retain elements of specific significance. Any layouts shown are indicative.

P01	21.09.20	Draft Planning Issue
P02	04.09.20	Final Draft Planning Issue
P03	11.09.20	Planning Issue
Rev.	Date	Description

Issued for:

Orms



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Key Plan:

CDM:
Risks

Notes:

Key

- Metal ceiling panel 1200x1200
- C Channel
- Illuminated ceiling Panel
- Circular downlights
- Cove lighting
- Indicative location for ceiling fixtures (e.g. smoke detector)
- Air grilles
- Linear air grilles
- Heater / air curtain
- Hanging light fixture
- Replacement of existing Access Hatch / AOV
- New AOV
- New Rooflight
- Fire curtain in soffit

Please note: BOH lighting such as plant rooms, stores and kitchen ceilings to be designed to specific requirements of shades and stages. Any symbols shown are indicative.



P01	21/08/20	Draft Planning Issue
P02	04/09/20	Final Draft Planning Issue
P03	11/09/20	Planning Issue
Rev. Date		Description

Issue to:

PL + PLANNING

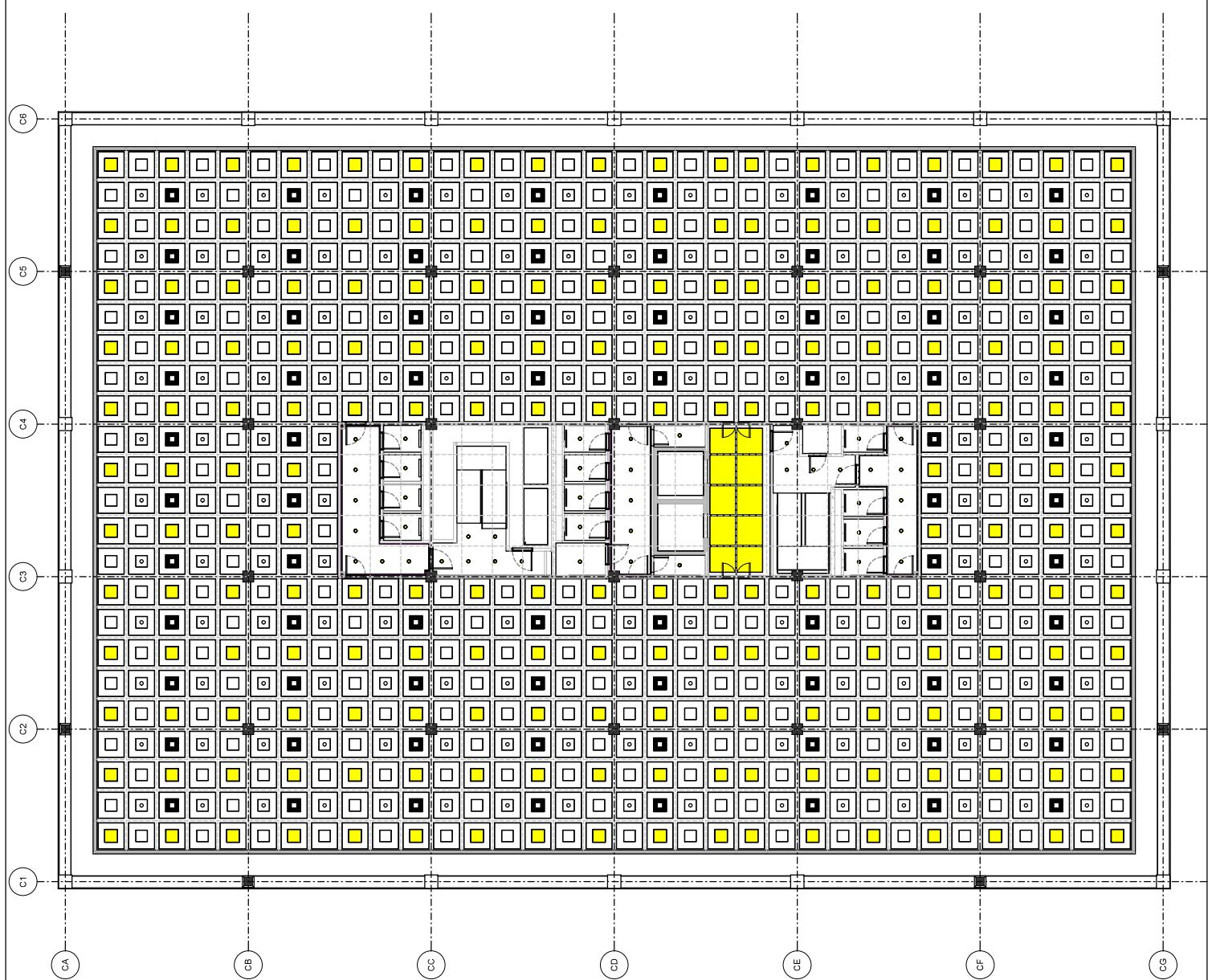
Orms

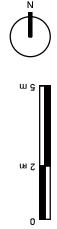
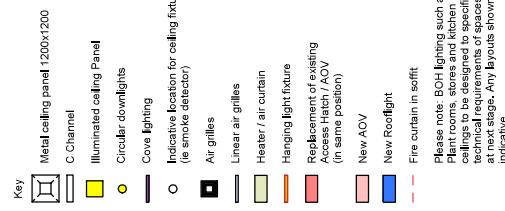
1 Chancery Lane
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Project No.
HBP-ORM-22-01-DR-A-12224

Drawn by:
Drawing number:
Scale:
1:100
Rev.:

Date:
12/09/2020
Page:





P01	21/08/20	Draft Planning Issue
P02	04/09/20	Final Draft Planning Issue
P03	11/09/20	Planning Issue

Rev. Date

Description

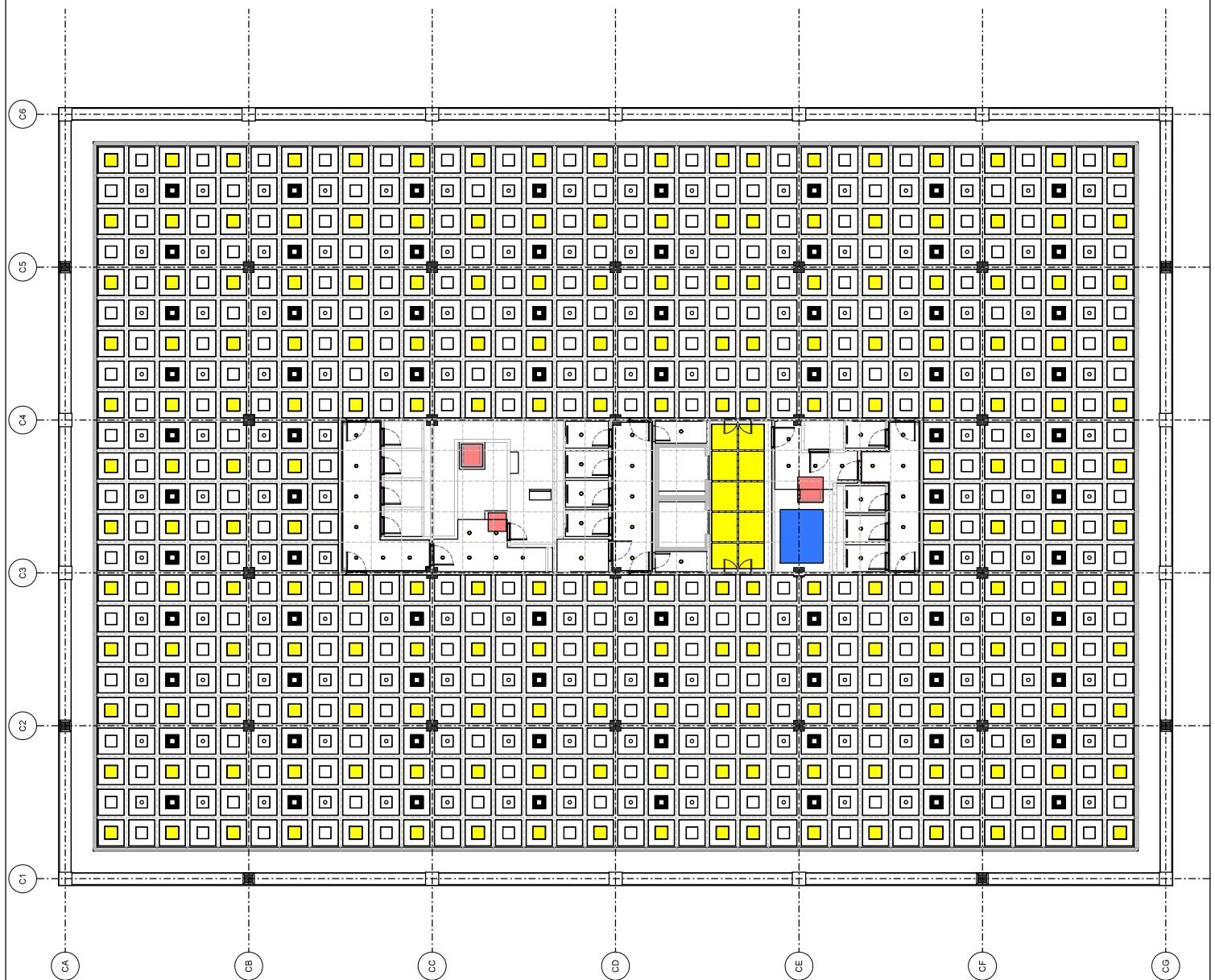
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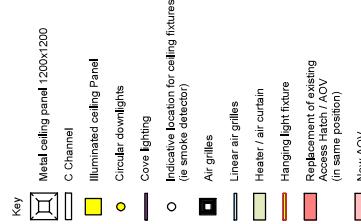
PL + PLANNING

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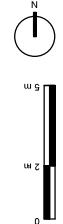
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Project Ref: 2174
Drawing Ref: HBP-ORM-22-02-DR-A-1225
Scale: 1:100
Drawing Number: 1225
Page: 1 of 1
Rev.: 03





Please note, BOH lighting such as
plant rooms, stores and kitchen
ceilings to be designed to specific
technical requirements of spaces
as required. Any layouts shown are
indicative.



P01	21/05/20	Draft Planning Issue
P02	04/06/20	Final Draft Planning Issue
P03	11/06/20	Planning Issue

Rev. Date

Description

Issue to:

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Orms

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email: info@orms.co.uk
website: www.orms.co.uk

Project No:
HBP-ORM-22-00

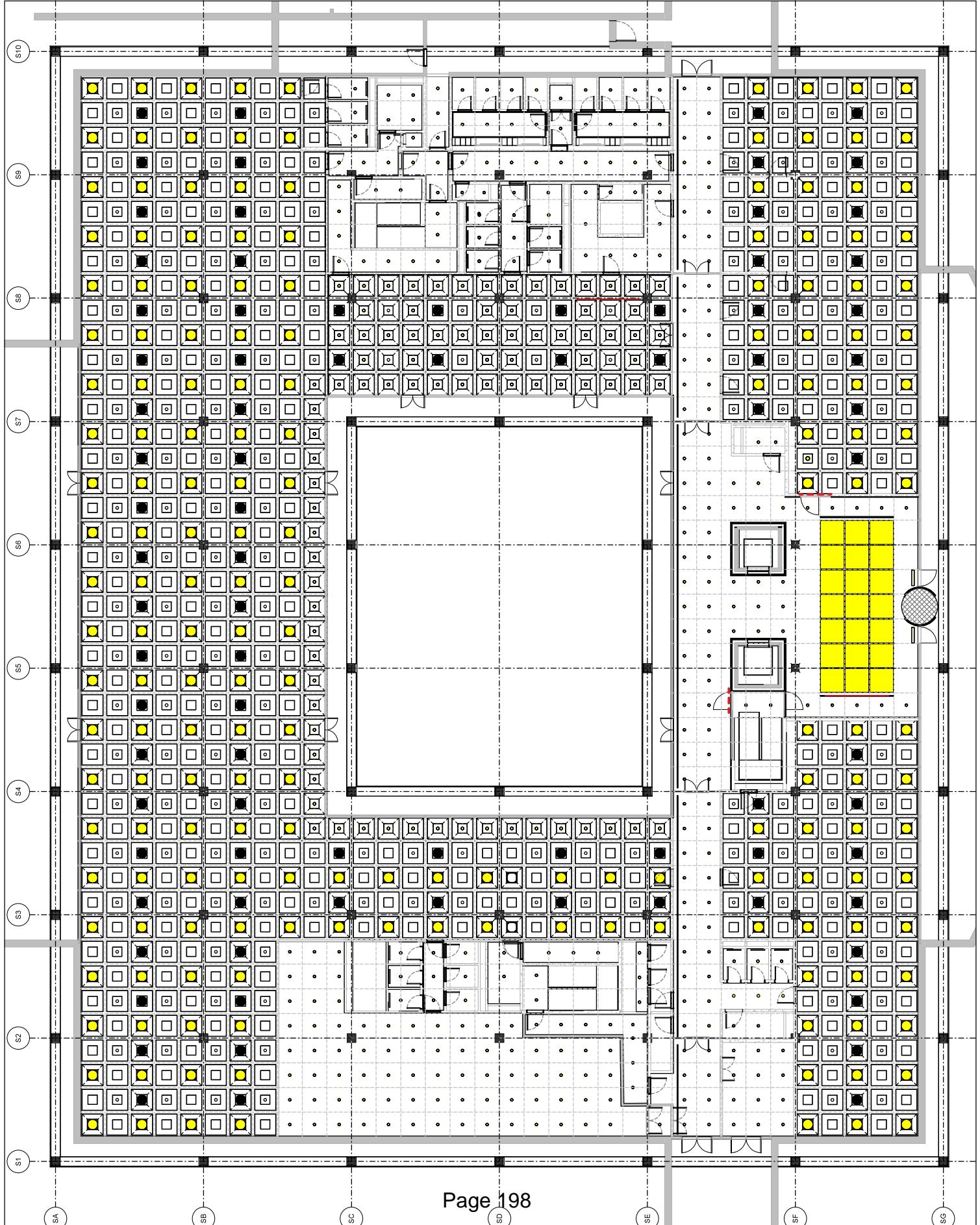
Drawn by:
Drawing number:
Scale:
Rev.:

1:100

Page 198

12/20

PO3



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Key Plan:

CDM:
Risks

Notes:

Key

- Metal ceiling panel 1200x1200
- C Channel
- Illuminated ceiling Panel
- Circular downlights
- Cove lighting
- Indicative location for ceiling fixtures (ie smoke detection)
- Air grilles
- Linear air grilles
- Heater / air curtain
- Hanging light fixture
- Replacement Access Hatch / AOV
- New / AOV
- New Rooflight
- Fire curtain in soffit

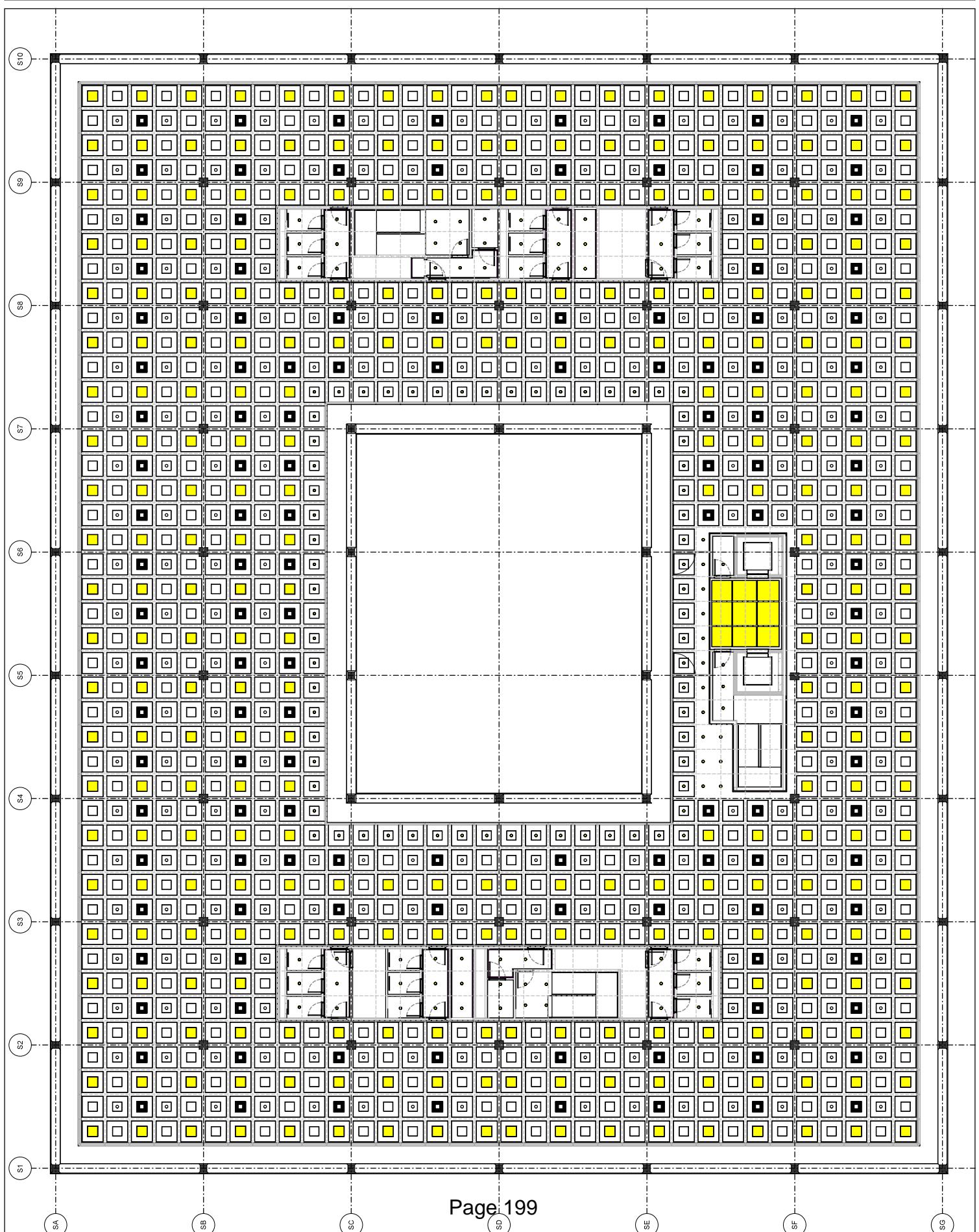
Please note BOH Lighting such as Plant rooms, stores and kitchen ceilings to be designed to specific technical requirements of spaces as at stage. Any layouts shown are indicative.



P01 21/05/20 Draft Planning Issue
P02 04/06/20 Final Draft Planning Issue
P03 11/05/20 Planning Issue
Rev. Date Description
Issue by PL + PLANNING

Orms
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email@orms.co.uk
www.orms.co.uk
Project Name: Hayes Business Park
Drawing Number: HBP-ORM-22-01-DR-A-12221
Drawing Title: Hayes Business Park - South Building First Floor Plan
Scale: 1:100
Rev. 03
Date: 27/05/2021

Project No: 2174
Drawing Number: HBP-ORM-22-01-DR-A-12221
Drawing Title: Hayes Business Park - South Building First Floor Plan
Scale: 1:100
Rev. 03
Date: 27/05/2021



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Key Plan:

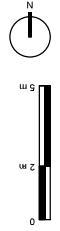
CDM:
Risks

Notes:

Key

- Metal ceiling panel 1200x1200
- C-Channel
- Illuminated ceiling Panel
- Circular downlights
- Cove lighting
- Indicative location for ceiling fixtures (ie smoke detector)
- Air grilles
- Linear air grilles
- Heater / air curtain
- Hanging light fixture
- Replacement of existing Access Hatch / AOV (in same position)
- New AOV
- New Rooflight
- Fire curtain in soffit

Please note: ROH lighting such as plant rooms, stores and kitchen ceilings to be designed to specific technical requirements of spaces at next stage. Any layouts shown are indicative.



P01	21/05/20	Draft Planning Issue
P02	04/06/20	Final Draft Planning Issue
P03	11/06/20	Planning Issue
Rev. Date		Description

Issue by:

PL + PLANNING

Reviewed by:

Photoed:

Photocopies - Reflected Ceiling Plan

South Building Second Floor

Project No:

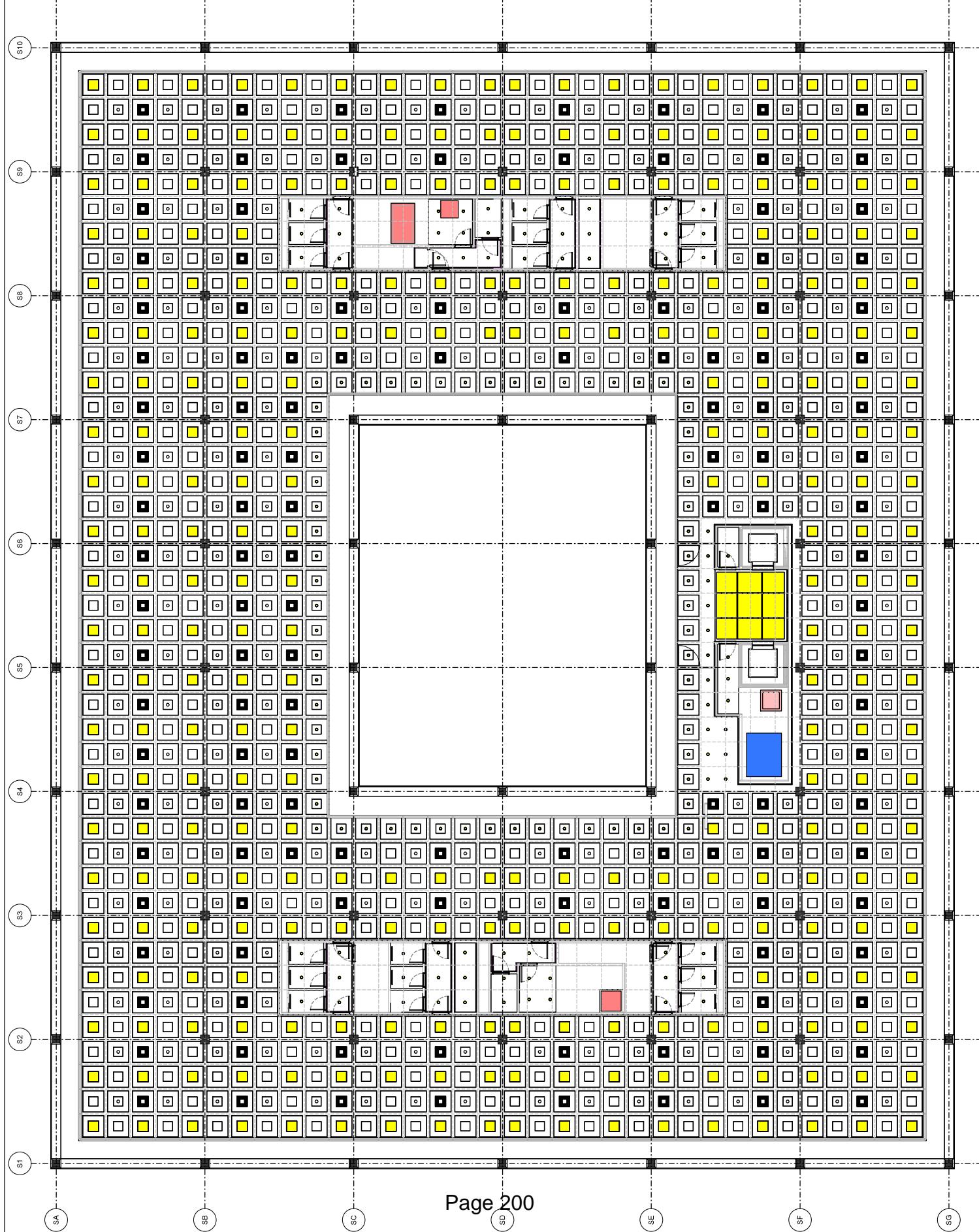
2174

Rev. No:

P03

Orms

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email: info@orms.co.uk
website: www.orms.co.uk
Project Manager: Hayes Business Park



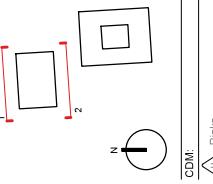
Notes:

Proposed Detail Reception Drawing and pass doors to main entries

- 01. New curved Boring and door (no rebate existing)
- 02. New curved Boring and door (no rebate existing)
- 03. New curved Boring and door (no rebate existing)
- 04. New glazed internal double doors
- 05. New glazed internal double doors
- 06. New curved Boring and door (no rebate existing) with new finishes
- 07. New timber door handles
- 08. New timber door handles
- 09. New timber door handles
- 10. New timber door handles
- 11. New internal Boring sized to existing boring
- 12. Existing external staircase to Pergola
- 13. Existing external staircase to Pergola
- 14. Existing external staircase to Pergola
- 15. New furniture (orange sealing)
- 16. New furniture (orange sealing)
- 17. New curved Boring with new finishes

Please note, there are no original features within the Central Building.

Rev.	Date	Description
P01	21.09.20	Draft Planning Issue
P02	04.09.20	Final Draft Planning Issue
P03	11.09.20	Planning Issue



Proposed Plan and Elevation:
01. Existing building to remain
02. New glazed double doors (to replace existing non-original doors) to secondary entrances
03. Existing fire escape and route
04. Existing fire escape and route
05. New glazed double doors (to replace existing non-original doors) to secondary entrances
06. New external lighting pool
07. New strip lighting at edge of reflecting pool for circulation
08. New external lighting pool between site gate and road
09. Existing fire exit between buildings
10. Three existing bollard panels to be removed and replaced with new double glazed units within curtain wall system
11. New glazed double doors (to replace existing non-original doors) to secondary entrances
12. New fire escape route (to replace existing route),
13. New roof light
14. New ACV
15. New access hatch to roof space
16. New access hatch (to replace existing)
17. New ACV (to replace existing (CO))
18. Existing external staircase refurbished, cleaned and painted to match the existing
19. Glazed entrance from internalised office room and given to office (new also required in this area)
20. New external lighting pool
21. Provision for a 2nd level reflecting and temporary ramp
22. New roof light
23. New access hatch (to replace existing)
24. Internal wall thicknesses and positions are indicative of proposed changes to internal and external dimensions. Final dimensions to be determined by the architect. These indicate only and are subject to refinement and design development.

Existing Concrete:
Comprehensive testing and making good to existing concrete structures.

Facade Glazing:
Cleaning and adjustment and making good to all existing glazing.

Whilst undressed column bases:
Proposed decorative concrete finish to column bases to be detailed by architect. A trial to be carried out on the base of one column to be undertaken, column is proposed to be undertaken,

PO3: Issues emitted from SB month 4 decision

PO1	11/06/20	Planning Issue
PO2	13/11/20	Planning Response 01 Issue
PO3	03/01/21	Planning Response 02 Issue
Rev. Date		Description

Issue to:

Orms
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enquiries@orms.co.uk

Project No:

Proposed

Planning

Central Building - Detail Elevation 01

Scale: 1:100

Rev.: 2/74

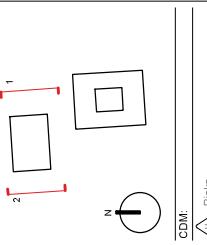
Drawn by: Hayes Business Park

Approved: Hayes Business Park

Planned: Hayes Business Park

Ref: HBP-ORM-22-NC-DR-A-12865





110

Facade Glazing:
Cleaning, refurbishment and making good to
all existing glazing.

White rendered column bases:
Proposal to re-render decorative concrete
finish to columns, which have been rendered. A
single column is proposed to be
under-coated.

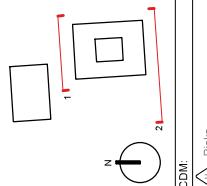
Rev.	Date	Description

Architectural drawing showing a building elevation with a foundation line and a 1:100 scale bar.



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Key Plan:



Notes:

Proposed New and Existing:
 01. New curved lifting doors and pass doors to main entrance
 02. New glazed double doors to replace existing non-glazed doors to the entrance to the South wing (to be replaced by Bi-Store with new doors).
 03. Replace existing external staircase (to be replaced by new staircase).
 04. Existing fire escape exit route
 05. Existing fire escape exit route
 06. Reinstated double doors (to replace existing non-glazed doors).
 07. New strip of tiling at edge of reflecting pool for the entrance to the building.
 08. New curved double doors between car park and reflecting pool (confidential).
 09. Existing tunnel between buildings.
 10. Three existing Boring Pits to be removed and replaced with new double glazed units with curtain wall system.
 11. 14m. double glazed units to match the existing double glazing units. The inner leaf will be triple glazing (SGU) and the outer leaf will be double glazing (SGV) with a 10% solar reflectance ratio to VCS.
 12. New fire escape door (to replace existing door).
 13. New rooflight.
 14. New rooflight.
 15. Existing L-shaped entrance.
 16. New access hatch (to replace existing)
 17. New ADU (to replace existing ADV)
 18. Internal and external staircase reinstated, removed and reinstated.
 19. Space taken from rationalised plant room and given to office (new walls required in this area).
 20. Existing external wall cladding removed.
 21. Existing external wall cladding removed.
 22. (3m.17" x 1m.00" x 450mm(H)) duct outlet.
 Internal and external dimensions and sections are indicative only and subject to change. All dimensions and sections are in mm and subject to review and final dimensions to be confirmed. Internal door arrangements, sizes and positions are indicative only and subject to refinement and design development.

Existing Concrete:

Comprehensive tiling and making good to existing decorative concrete.

Facade Glazing:

Cleaning, refitment and making good to all existing glazing.

White rendered column bases:

Proposed to reinstate decorative concrete finish to columns which have been rendered. A trial for a single column is proposed to be undertaken.

Existing Concrete:

Comprehensive tiling and making good to existing decorative concrete.

Facade Glazing:

Cleaning, refitment and making good to all existing glazing.

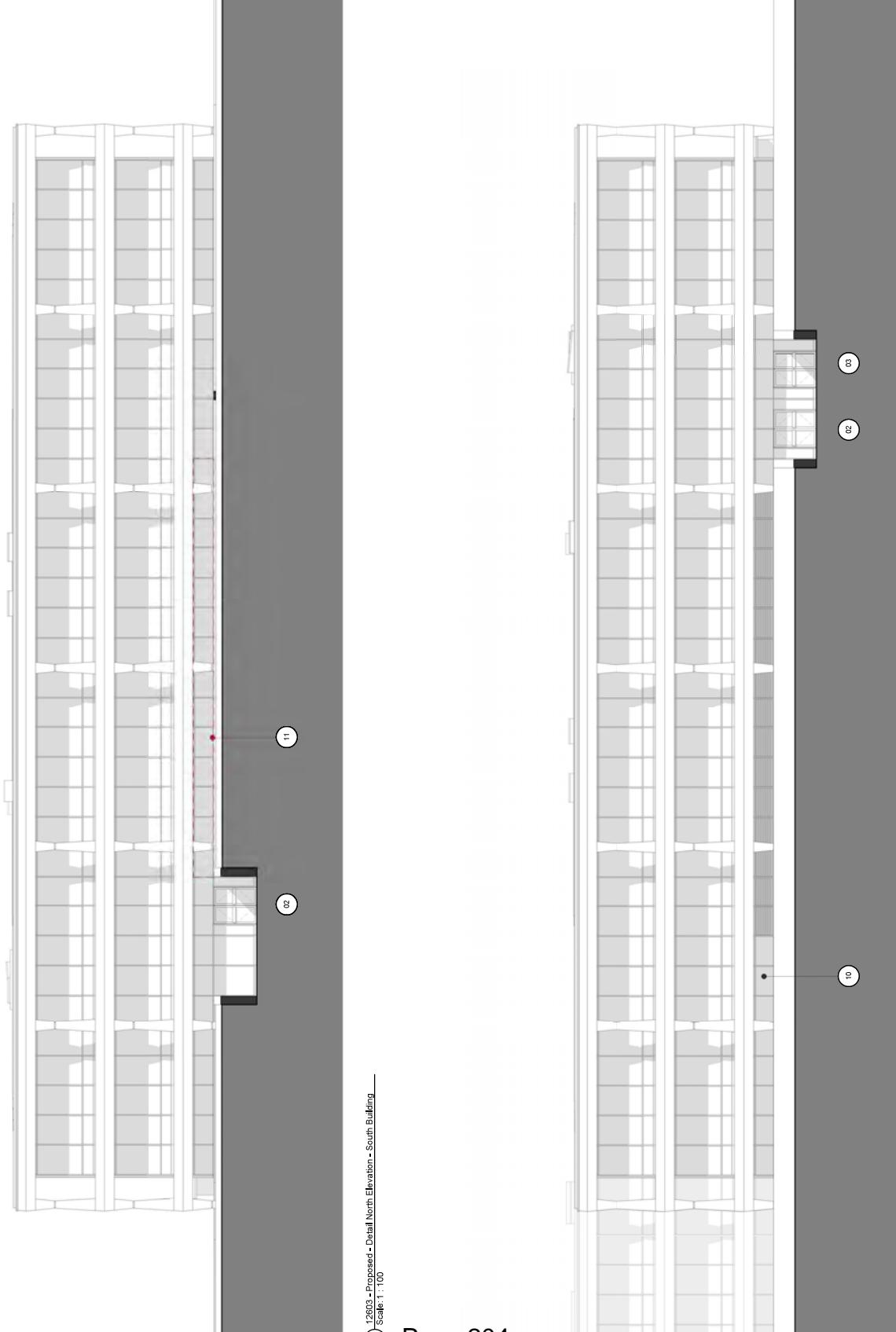
White rendered column bases:

Proposed to reinstate decorative concrete finish to columns which have been rendered. A trial for a single column is proposed to be undertaken.

P04: Boxes omitted from SB north elevation + model 1:1000 updated	
P01	11/06/20 Planning Issue
P02	13/11/20 Planning Response 01 Issue
P03	20/11/20 Planning Response 01 Issue
P04	04/12/21 Planning Response 02 Issue
Rev. Date	Description

Orms
1 Chancery Lane
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EC4Y 1HT
020 7235 3000
www.orms.co.uk
email: info@orms.co.uk
Project Manager: **Hayes Business Park**

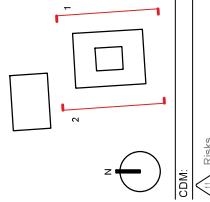
Proposed
Photocast - Detail Elevation
South Building - Detail Elevation 01
Project No: 2174
Scale: 1:100
Drawing Number: 12000
Date: 12/03/2023
Title: Hayes Business Park
Rev: 04
HBP-DRW-22-NC-DR-A-12003



① - 12003 - Proposed - Detail North Elevation - South Building
1:100

Page 204

② - 12003 - Proposed - Detail South Elevation - South Building
1:100



Notes:

Proposed Plans and Elevations:
 0.1. New curved sailing doors and pass doors to
 02. New glass doors (to replace existing
 non-original doors) to secondary entrances
 03. Entrance to Bar Store with new double glass
 doors (to replace existing non-original doors)
 04. Existing fire escape and main entrance
 05. New glass doors (to replace existing
 non-original doors)
 06. New stairs and landing and
 07. New stairs and landing and
 08. New stairs and landing and
 09. New stairs and landing and
 10. New glass double doors between cells and
 11. New access hatch (to replace existing)
 12. New access hatch (to replace existing)
 13. Existing external bases repainted,
 cleaned and repainted.
 14. Existing external bases repainted,
 cleaned and repainted.
 15. Existing Lift operon
 16. Existing external bases repainted,
 cleaned and repainted.
 17. Existing external bases repainted,
 cleaned and repainted.
 18. Spaces taken from internal plan room and
 19. Internal door arrangements, sizes and positions are
 indicated on the plan.
 20. New external bases
 21. Proposed steps to replace existing temporary
 ramp
 22. Wall thicknesses and positions are
 indicated on the plan.
 23. Internal door arrangements, sizes and positions are
 indicated on the plan.
 Existing Corridor
 Comprehensive cleaning and making good to
 existing decorative concrete.

Façade Glazing:
 Cleaning refurbishment and making good to
 all existing glazing.

White rendered column bases:
 Proposed to re-instate decorative concrete
 to all four bases. The bases are to be
 treated as single column is proposed to be
 undertaken.

PO1	11/06/20	Planning Issue
PO2	13/11/20	Planning Response 01 Issue

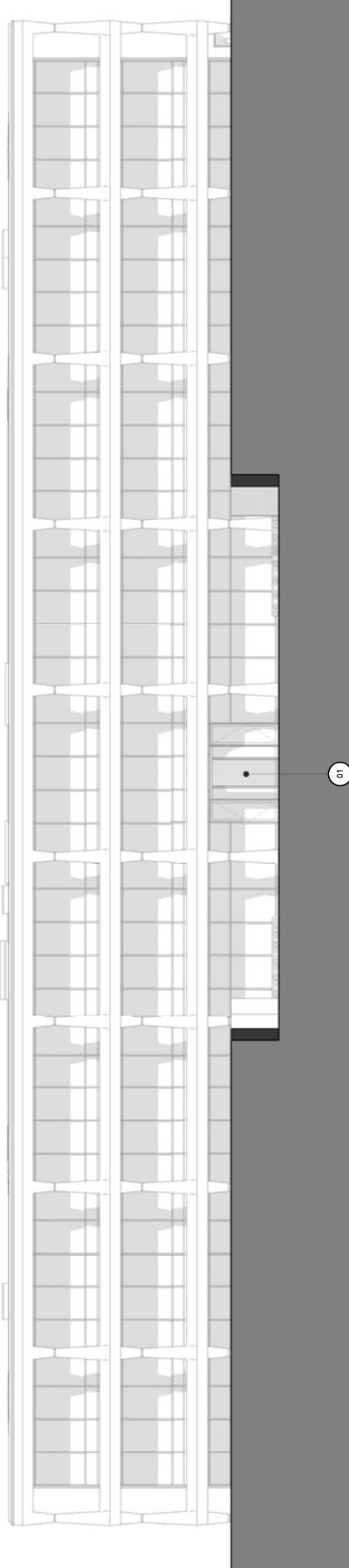
Rev. Date

Description

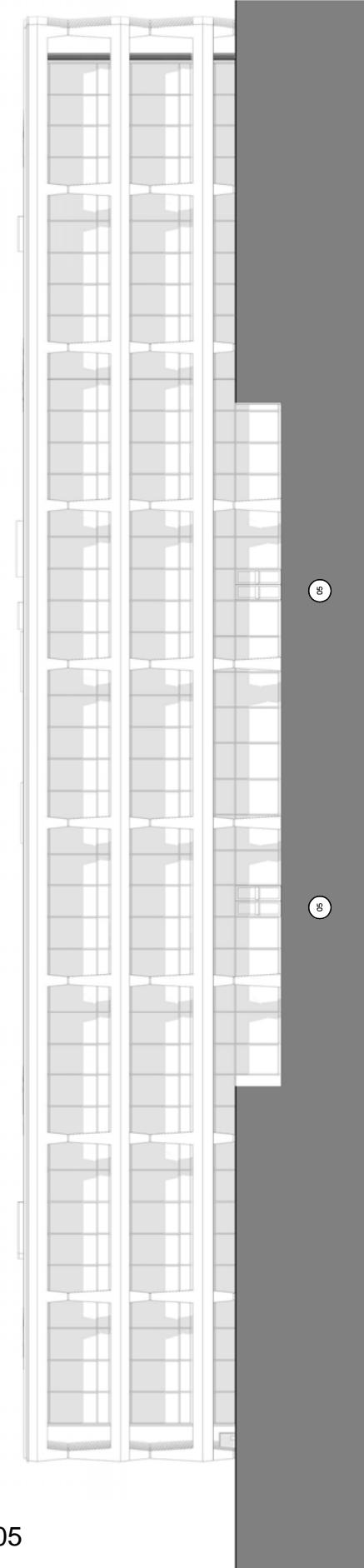
Notes to
PL + PLANNING

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enquiries@orms.co.uk
Project Ref:
Hayes Business Park

Project Ref:
Proposed
Photocall - Deal Elevations
South Building - Deal Elevations 02
Drawing Number: 12604
Scale: 1:100
Drawing Date: 11/06/2020
Title: Hayes Business Park
Rev.: 02
Date: 12/06/2020
HBP-ORM-22- EA-DR-A-12604
PO2



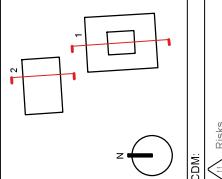
12604 • Proposed - Detail East Elevation - South Building



12604 • Proposed - Detail West Elevation - South Building

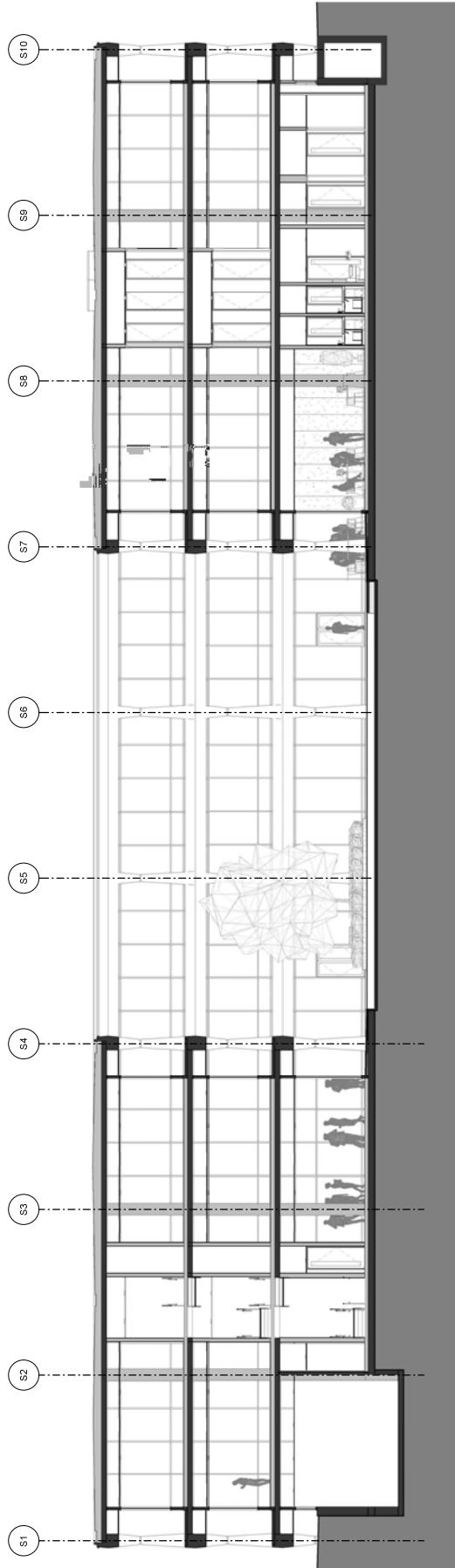
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Key Plan:

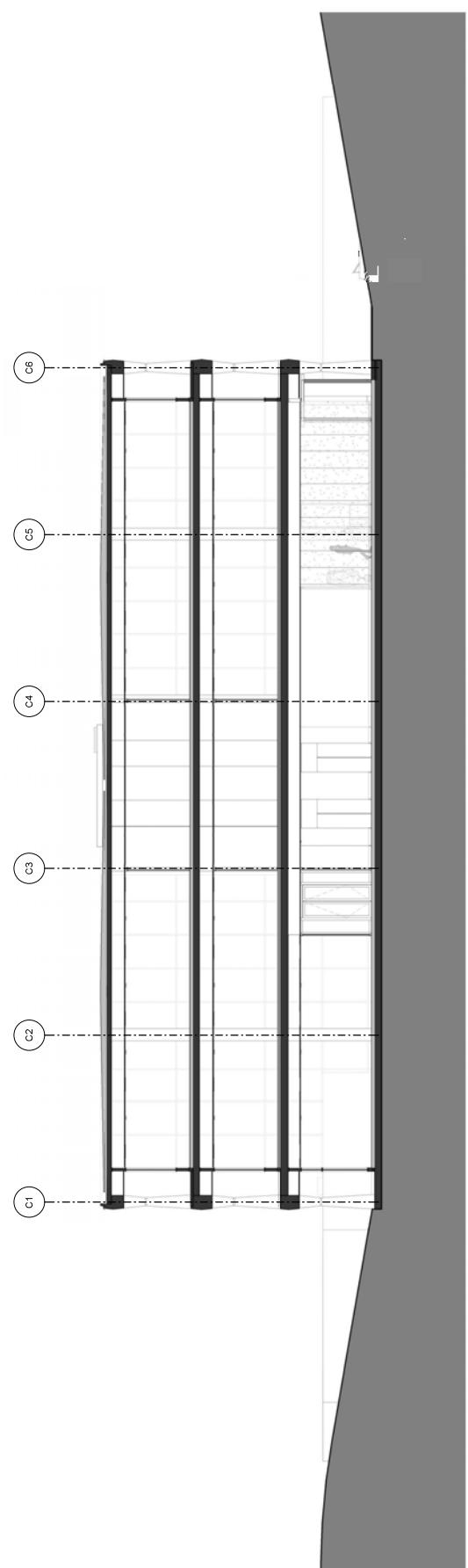


Notes:

PO	Issue Date	Planning Issue
Rev. Date	Rev.	Description
1148.00		
PL + PLANNING		
Orms		
1 Chancery Lane 52-54 Chancery Road EC4M 1HQ 020 7235 0000 www.orms.co.uk orms@orms.co.uk		
Project No: HBP-ORM-22-AA-DR-A-12402		
Drawing Number: 12402 - Proposed - Datal Long Section - South & Central Building 01		
Scale: 1:100		
Rev. 01		
1:100		
12402 - Proposed - Datal Long Section - South & Central Building 02		
Scale: 1:100		
Rev. 01		



12402 - Proposed - Datal Long Section - South & Central Building 01
Scale: 1:100



12402 - Proposed - Datal Long Section - South & Central Building 02
Scale: 1:100

Proposed Detail Reception Drawing South:
0.1. New curved sailing doors and pass doors
0.2. New curved double doors (to replace
existing non-circular doors)
0.3. New curved double doors
0.4. New curved internal double doors
0.5. Refreshed existing site with new finishes
0.6. New entrance accessible to all
0.7. New lifts in existing lift position.
0.8. New reception desk
0.9. New entrance canopy
0.10. New entrance lighting to existing
building facade grid.
0.11. Refreshing consisting of grass and low
green structures
0.12. Refreshing of existing soffit above
0.13. Existing fascia boards
0.14. Existing original fascia
0.15. New rug
0.16. New base furniture, lounge seating
0.17. New entrance canopy
0.18. Existing original decorative columns.
Please note: the decorative columns within the
South Building entrance are to be removed with
original features within both entrances.

P01	21/08/20	Draft Planning Issue
P02	04/09/20	Final Draft Planning Issue
P03	11/09/20	Planning Issue

Rev. Date

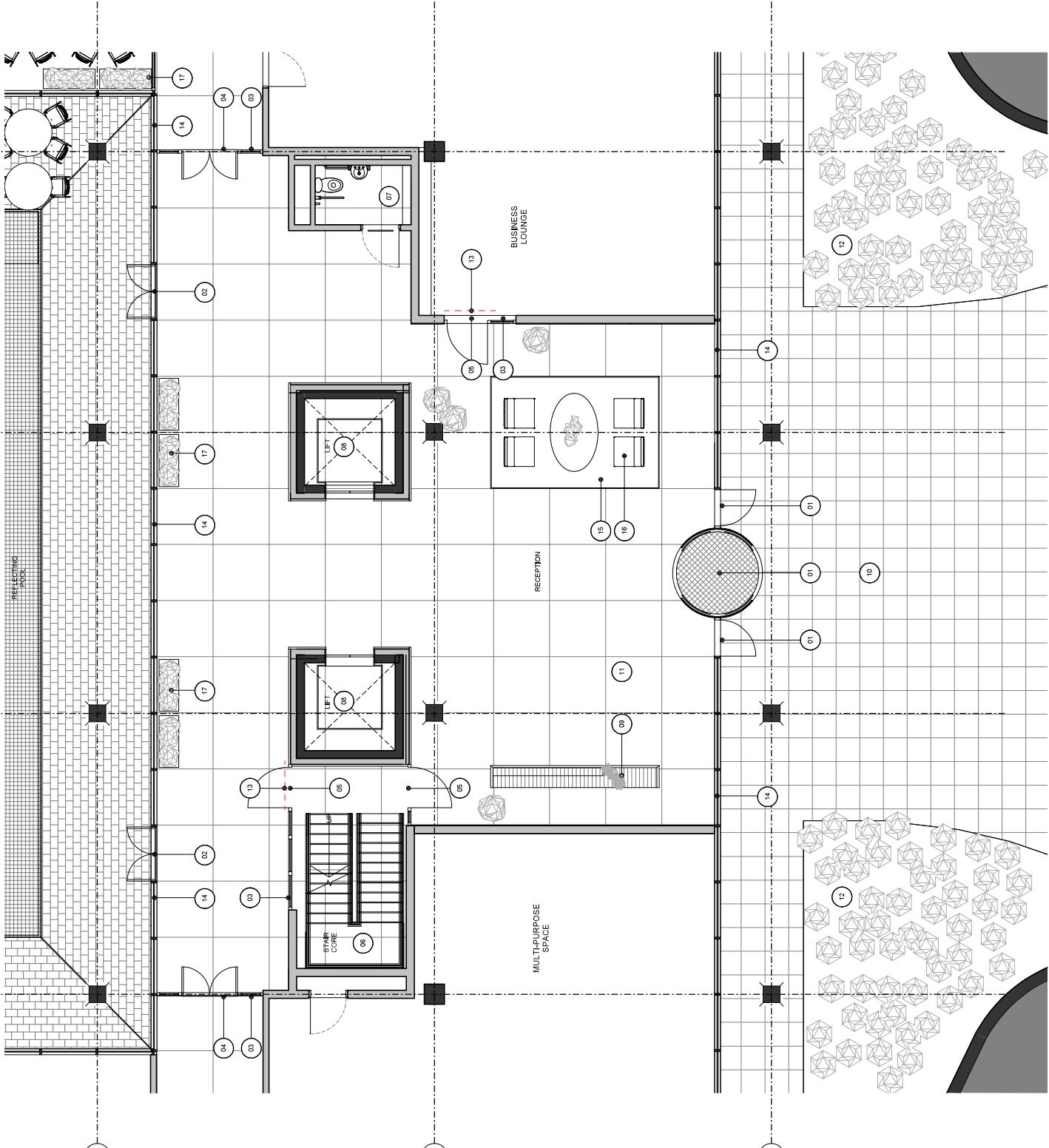
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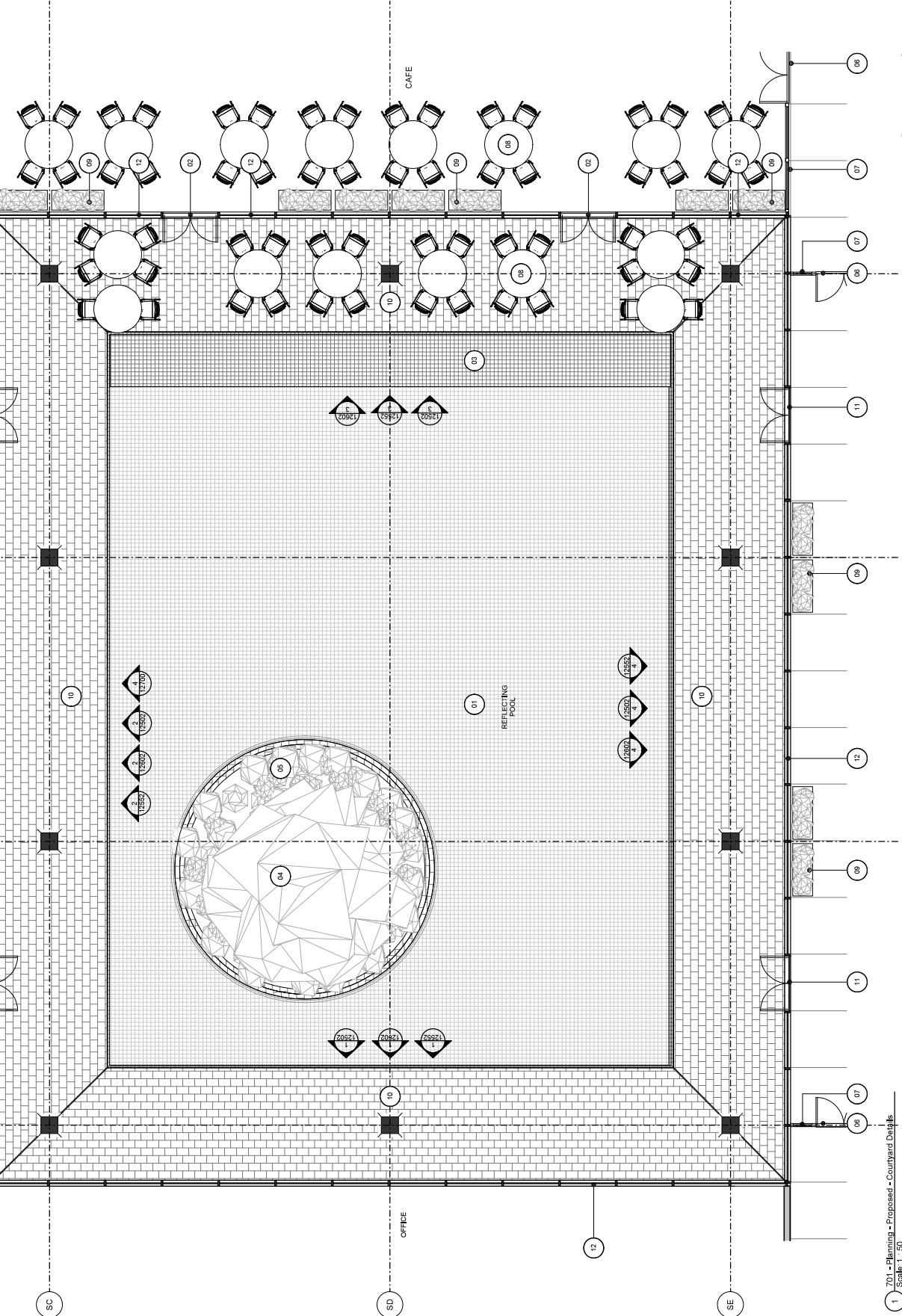
Issue to:

PL + PLANNING

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email: info@orms.co.uk
website: www.orms.co.uk
Project: Hayes Business Park
Drawing Number: HBP-ORM-ZZ-22-DR-A-12702
Drawing Type: Site Plan - South Building
Scale: 1:50
Rev. No.: 03
Date: 12/09/2020
Comments: As Indicated
Reviewed by: [Signature]
Approved by: [Signature]

Project No.: 2174
Drawing Number: HBP-ORM-ZZ-22-DR-A-12702
Drawing Type: Site Plan - South Building
Scale: 1:50
Rev. No.: 03
Date: 12/09/2020
Comments: As Indicated





- 01 Existing location and facing to proposed facade to be removed and replaced with new dense mineral wool insulation and painted cladding.
- 02 Proposed provide for recessed in the facade for a consistent blade system or all facades on both South and Central buildings.
- 03 Existing scaffolding and access points to be removed and replaced with new dense mineral wool insulation and painted cladding.
- 04 Existing lighting around external perimeter walls to uplift the softline.
- 05 Existing ground floor drainage outlet and pipe to be removed and replaced with new waterproofing to be removed and replaced.
- 06 Existing raised access 'boomer' with electrical cabling exposed will remain.
- 07 New LED external lighting around external perimeter walls to uplift the softline.
- 08 Existing ground floor drainage outlet and pipe to be removed and replaced with new waterproofing to be removed and replaced.
- 09 New drainage to softline at perimeter to improve thermal performance (and reduce cold bridging).
- 10 New waterproofing and insulation to achieve increased thermal performance.
- 11 New change in canopy height or profile. Existing canopy to be replaced with new black canopies.
- 12 Re-use of assumed existing drainage point with access point 14b/15.
- 13 Typical entrance doors: New glass panels and glazed double doors to replace existing (single) glazed double doors and adjacent double doors (within curtain wall units).
- 14 Typical New glazed double doors (within curtain wall units) doors used to replace existing (single) glazed double doors, also used for new sets of double doors within curtain wall units for safe access into courtyard.
- 15 New doors placed either along shop and pass doors.

Rev. Date	Description
F01	23/05/20 Draft Planning Issue
F02	04/06/20 Final Draft Planning Issue
F03	11/06/20 Planning Issue
F04	13/11/20 Planning Response 01 Issue
F05	20/11/20 Planning Response 01 Issue

Project No.	Project Name	Phase	Phase - Deal	Typical Faccade Day	As Indicated	Rev.
HBD-ORW-22-DR-A-12700	Hayes Business Park					

③ 12700 - Proposed - Typical New Entrance Doors Plan

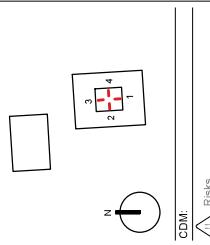
① Proposed - Facade Bay Study - South Building

④ 12700 - Proposed - Typical replacement entrance door elevation

⑤ 12700 - Proposed - Typical replacement entrance door elevation

② 12700 - Proposed - Typical New Entrance Doors Elevation

⑥ 12700 - Proposed - Typical New Entrance Doors Elevation

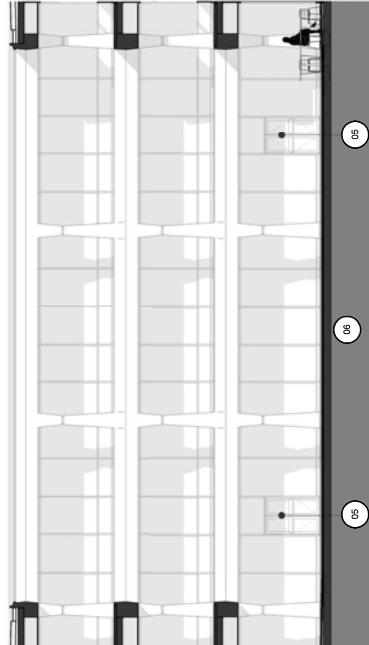


Notes

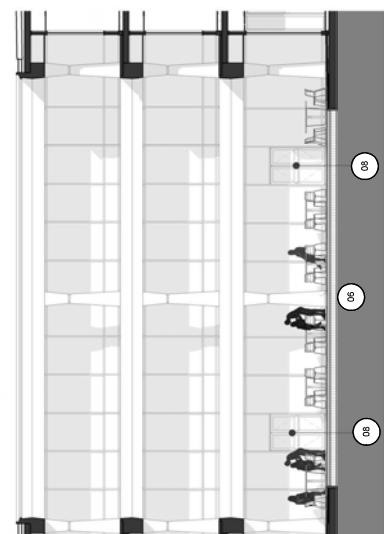
Facade Glazing:
Cleaning, refurbishment and making good to all existing glazing.

While rendered column bases;
Proposal to restate decorative concrete finish to columns which have been rendered. A trial on a single column is proposed to be

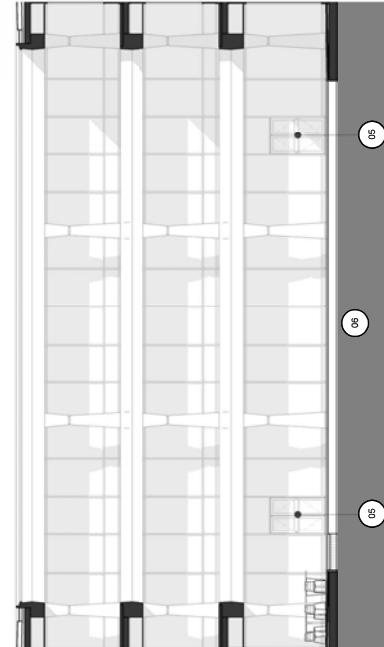
Drawing No.:	Planning - General Elevations		
Proposed:	Court yard Elevations		
Scale:	1 : 100		
Drawn by:	Project No.	Rev.	Page No.
	2174		05
Project Name:	Zone:	Location Type:	Number
HBP-ORM-22-SO-DR-A - 12602			



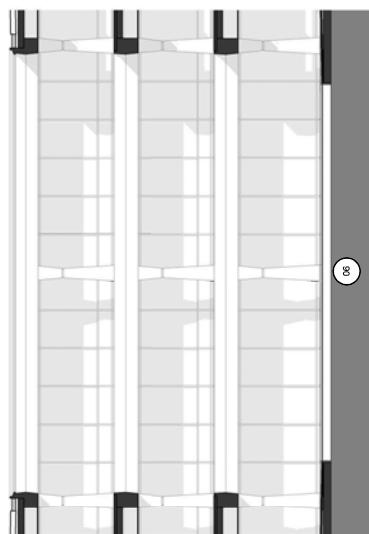
12602 - Proposed - South Elevation - Courtyard
1 Scale 1 : 100



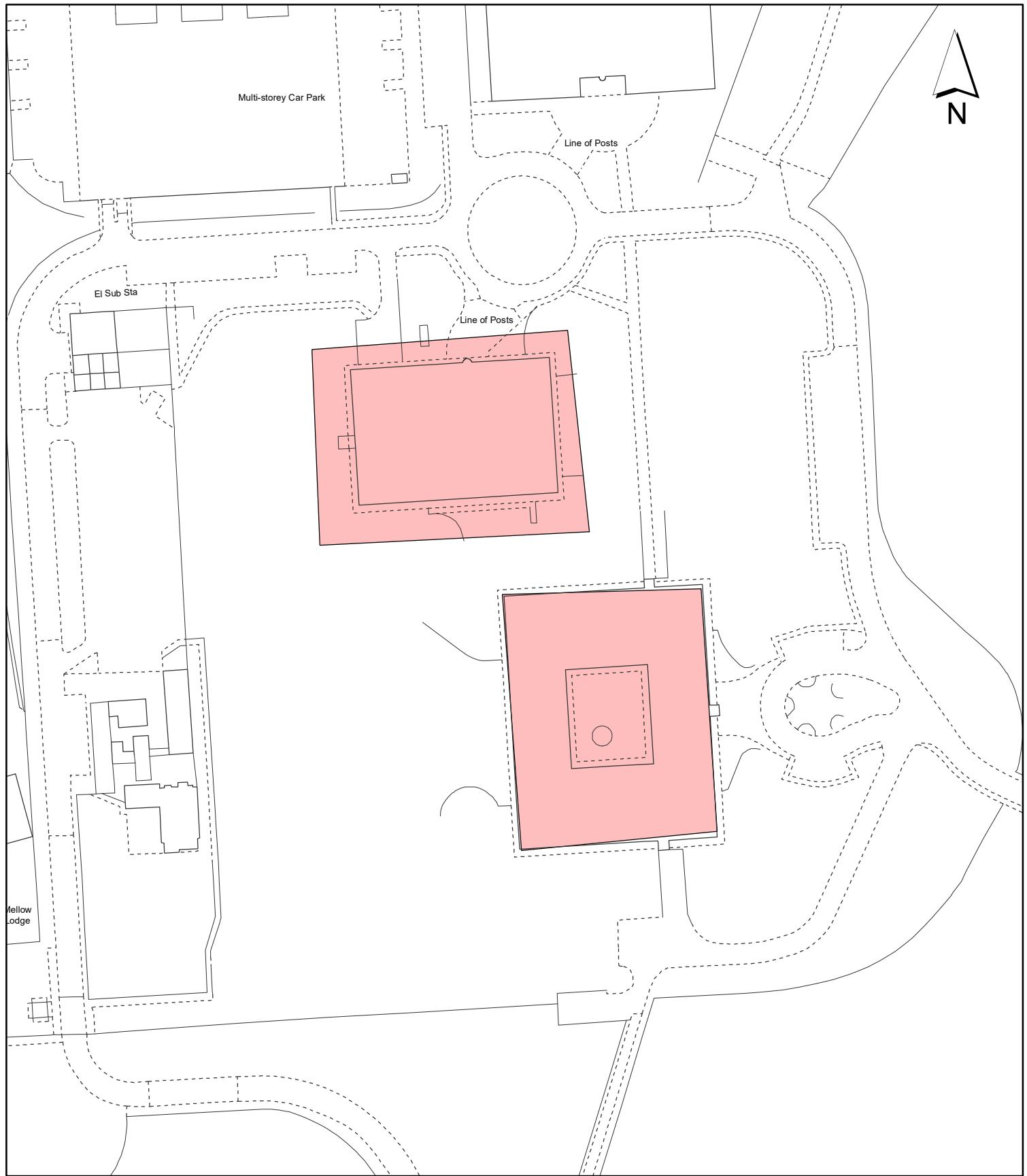
3 12602 - Proposed - North Elevation - Courtyard
Scale: 1 : 100



4 12602 - Proposed - East Elevation - Courtyard
Scale: 1 : 100



12602 - Proposed - West Elevation - Courtyard



Notes:

 Site boundary

For identification purposes only.

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Site Address:

Hayes Park

**LONDON BOROUGH
OF HILLINGDON**
Residents Services
Planning Section

Civic Centre, Uxbridge, Middx. UB8 1UW
Telephone No.: Uxbridge 01895 250111

Planning Application Ref:

12853/APP/2020/2980

Scale:

1:1,250

Planning Committee:

Central & South

Date:

February 2021



HILLINGDON
LONDON